



Tenant Design Criteria

Section a Architectural Design Criteria
Updated: February 2017

ADDENDUM LOG

July 2014

Architectural Design Criteria Manual Created

December, 2014

Addition of LED lighting in public Tenant area shall be recessed (a15)

January, 2015

Added language on Technical Diagrams pages referencing section representational only

Language changed regarding projected storefront on pages referencing A-Elevation

February, 2015

Revised waterproof membrane beneath the finish floor surface up to 4". (a17)

March, 2015

Replaced images per TC (a34, a35)

April, 2015

All storefront metal panels must meet LL requirements (this note must appear on final drawing set.) (a10)

July 2015

Above normal sound levels must provide sound isolation (a14)

January, 2016

Storefront height requirement revised (a36, #4)

February, 2017

New photo of BP (a1)

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DESIGN INTRODUCTION

General

Broadway Plaza is the premier lifestyle retail and fashion center of Walnut Creek, California. Broadway Plaza is located at the intersection of Mt. Diablo Boulevard and South Main Street. The center offers broad shopping facilities with over 95 in-line shops and services, including department stores, restaurants and small shops. The goal of these guidelines is to guide future modification of the center to result in vibrant retail design that enhances the community and that consistently exhibits a high level of quality.

Broadway Plaza is a place for both shopping and social interactions. It includes national as well as local specialty retailers, presented in an open air setting featuring pedestrian oriented paseos and plazas, each with a unique character. The plazas can accommodate public events.

While Broadway Plaza's site plan provides easy access and circulation by automobile, the quality of the pedestrian's experience has priority. The atmosphere is to be fun, lively and retail-friendly. Informal natural spaces and building designs abstracted from the context of contemporary and regional Bay Area styling will be set within the context of a downtown retail marketplace.

The architecture of the center is designed to form a backdrop to complementary tenant expressions, manifested through the creative use of storefronts, awnings and signage that enhances the appeal and liveliness of the center, with energy and vibrancy to be provided by diversity of design elements, materials, color, and texture.

In today's competitive retailing milieu, tenants need to express their unique identity and brand. In order to attract, support and continue successful tenancies, the exterior architecture must enhance tenant design and branding needs. The goal of these guidelines shall be to establish criteria that enhance tenant identities while preserving the center's architectural quality.



DESIGN INTRODUCTION (cont'd.)

Design Definitions

The guidelines address major elements of the built environment at Broadway Plaza, and a few design terms are defined below for clarity.

An exterior tenant improvement project that includes colors, glazing, lighting and surface finishes, within a Landlord-provided neutral frame, without altering the existing footprint shall be considered a “storefront” project and not a “façade” project.

Façade Project:

New exterior wall assemblies extending full height from grade to parapet, or partial height to parapets or roofs that return back to a Landlord-provided neutral frame behind them. Façades may not project beyond adjacent lease lines.

Storefront Projects:

Exterior wall infill assemblies in plane with or recessed back from Landlord-provided neutral frame.

Plazas and Courts:

Open air gathering and activity spaces, typically at the intersection of paseos.

Paseos:

Open air pedestrian passageways or malls, typically facing the interior of the project.

Public Façades:

Those portions of exterior walls (façades and storefronts) that face onto the perimeter public streets.

Private Façades:

Those portions of exterior walls (façades and storefronts) that face onto the interior courts and paseos.

Design of all these façades shall be subject to the requirements of this guideline and design review by City of Walnut Creek staff.

GENERAL DESIGN GUIDELINES & EXAMPLES



Design Characteristics of appropriate styling for tenant enhancements:

- Informal, casual and dynamic massing
- Elegant vertical proportions at openings and massing
- Storefront line recessed from face of façade
- Variation in heights of openings
- Variation in opening shapes
- Variation in shading types including awnings, canopies and trellises
- Stone, metal or tile bases and wainscots
- Variation of skyline and parapet materials

GENERAL STOREFRONT REQUIREMENTS

Broadway Plaza is a pedestrian-oriented outdoor shopping center. Storefronts shall be designed to be an expression within the context of a building façade.

All storefront designs and plans are subject to Landlord approval. The overall image should be well coordinated, fully integrating components such as entries, displays and signage.

Storefronts must be of the highest caliber: expressing state of the art and material quality and meeting or exceeding the very best examples. To achieve this goal, Tenants shall be required to select an Architect who has experience in retail Tenant design.

Projections or awnings, where required, must be three-dimensional, emphasizing creative, dynamic forms and designs.

The following criteria apply:

1. All storefront construction shall be self supporting from the floor and independent of the building fascia and bulkhead structure. Storefronts may be braced to the overhead structure within the Tenant space for lateral bracing only. A minimum of 60% of the storefront is to be display windows.
2. Three-dimensional articulations in both storefront plan and height are required for all storefronts in the new Tenant areas.
3. Tenants will provide a flush transition between their flooring and the pedestrian walkway.
4. Storefronts visible from upper levels must take special care that the tops of storefronts are finished to match the storefront design. There are to be no exposed conduits, raceways, access panels or equipment visible from upper level. In addition, all surfaces of any visible projections must also be finished to match.
5. Special attention must be shown to all transitions from Tenant storefront to neighboring storefronts.
6. The use of a C or U-channel as a border or transition at the edges of the storefront is prohibited.
7. Each Tenant storefront must be independently watertight and should be designed as if it's the first storefront being constructed. Do not rely on a caulk joint at the edges of the storefront for waterproofing.
8. Where metal flashing is used as a water-proofing measure and is visible, it must be shop-painted to match the storefront.
9. The transition from storefront to storefront cannot occur on the same plane. There must be a minimum of 3" from the face of one storefront to the next.
10. The underside of the entry portal soffit shall be finished to match the storefront. Gypsum board will not be permitted.
11. Stores less than 800 square feet shall be required to have durable floors and gypsum board ceilings throughout the sales area.
12. Pedestal type security systems are not allowed. Tenant can specify concealed system. Tenant to submit specifications to Landlord for approval.
13. Entry doors are required and are to be a minimum of 9'-0" in height. All other doors are to be hinged or pivot-type doors. Doors are suggested to be the height of the glazed storefront, where possible. Maximum opening width allowed for storefront entrance is 8'-0".
14. Mezzanines are not permitted in any area of this project.
15. No TV monitors within 10' of storefront glazing (City requirement).

Materials used in the construction of storefronts shall be high quality, durable, exterior-rated, authentically portrayed and code compliant. The entire storefront area is subject to the Landlord's scrutiny for quality of finishes, detailing and construction methods.

GENERAL STOREFRONT REQUIREMENTS (cont'd.)

The success of the storefront design is largely dependent on how creatively materials and design details are used to develop a unique and well executed image for each Tenant. The following are minimum standards for the use and installation of materials for storefront construction. Proposed materials and colors are to be submitted on a color material sample board to the Landlord for review during the preliminary design review process. Final color and material samples are to be submitted to the City as part of the storefront design review application. (Refer to PLAN SUBMITTAL & REVIEW PROCEDURES for more detailed requirements.)

Storefront Windows and Glazing

Storefront design cannot consist of glazing only. Tenant must introduce other design elements/materials as per Landlord's requirements.

Window configuration and glazing comprise the largest compositional elements of storefronts. They establish a great deal of the design character and define the relationship between interior and exterior. The glazing systems establish the framework for the display of the Tenant's image and merchandise. Size, proportion and pattern should be carefully considered.

The transparent surfaces of the storefront serve an important design role to the storefront and the interior by creating an architectural display area. The use of glazing should be creatively explored and carefully detailed. The following criteria applies:

1. Exterior glazing units for both storefronts and doors must have a solar heat gain coefficient (SHGC) of not more than 0.27 and a U-value of not more than 0.28. Tinting or films applied after the glass is installed is prohibited. Prior to installation Tenant will be required to submit documentation from the glass manufacturer for each type of storefront glass used demonstrating that it meets these criteria.
2. All glazing design for storefront is not allowed. A minimum of 15-30% of storefront must be hard surface material. Refer to approved material list of this manual for more information.
3. Large panes of glazing must be of sufficient thickness to meet code and be properly supported.
4. All glass shall be tempered.
5. Tenants may be required to provide seismic clips to stabilize tall expanses of glass. Silicone sealant at glazing joints is not permitted.
6. Reflective glass (including the extensive use of mirror) and/or tinted glass is not permitted on storefronts or in the storefront entry zone.
7. Tenants are not restricted to asymmetrical design, particular proportions, sizes or types of glazing systems.
8. Tenants are encouraged to "open-up" their storefront by extending their glazing to the extents of their leaseline.
9. Window mullions are required to meet all material and finish standards.
10. Clear anodized aluminum is prohibited.
11. Glazing should be predominantly clear to emphasize merchandise display.
12. Decorative glazing such as colored, beveled, sandblasted or etched glass may be used to create accent pattern and interest.
13. Weather tight conditions must be maintained for exterior glazing.
14. Minimum 6" durable base along entire storefront length is required.
15. Long or tall expanses of flat surfaces will not be allowed.

STOREFRONT DESIGN CRITERIA

Canopies and Awnings Types

Canopies and/or awnings are allowed throughout the property.

Canopies and/or awnings are required in certain areas throughout the property. Refer to awning zone plan on page a19. All tenants in these areas must have a fixed opaque awning or canopy, projecting a minimum of 3'-11" from the wall. The bottom of the outside edge of the awning or canopy shall not be more than 6" above the high point of the storefront containing vision glass.

Canopies/Overhangs/Awnings must be an integral part of the storefront design when used. The underside may be articulated with architectural elements such as brackets, coffers or exposed beam ends. Canopies may be constructed from glass, metal or wood. Internally illuminated canopies are not permitted. Canopies must be supported by Tenant's storefront and may not be attached to shell building.

Creative materials and forms of awnings are encouraged to promote identity among Tenants.

- Creative, imaginative, unusual shapes
- Semi-spherical
- Multiple awnings
- Unusual materials (such as louvers, wood, wire, metal, etc.) are subject to review by Landlord's Tenant Coordinator.
- Fire protection beneath awnings and other horizontal projections as required by code is the responsibility of the Tenant.
- See page S11 for awning signage requirements.
- Vinyl, nylon, cloth and plastic awnings are prohibited
- Bright and/or very vibrant colors are discouraged
- Fabric awnings may be allowed, but are subject to Landlord final approval of specific fabric specification. Must be Sunbrella or similar.

Overhangs

Overhangs are permitted in storefronts provided that they are an integral part of the storefront design. The underside of overhangs must be articulated with architectural elements such as brackets, coffers or exposed beam-ends.

Umbrellas

Umbrellas are only allowed in the Tenant's exterior Leased Premises and cannot overhang into the public right-of-way. Umbrellas should be small in scale (maximum 6'-0" in diameter) and no more than 9'-0" high at the peak. Wood or wrought iron are the only acceptable materials for the umbrella structure. No insignia, graphics or text is permitted on the umbrella fabric. The umbrella fabric must be flame retardant material in a color approved by Landlord's Tenant Coordinator.

Sign Construction & Installation

1. The Tenant is responsible for all signs, permits, power sources, connections and installations.
2. All raceways, transformers, ballasts, P.K. housings, conduit, boxes, electrode boxes and other wiring shall be concealed from public view.
3. Exposed crossovers between letters or words are not permitted.
4. Metal sign materials, fastenings and clips of all types, shall be hot-dipped galvanized iron, stainless steel or brass. Black iron materials of any type are not permitted.
5. Labels on exposed sign surfaces are not permitted, except those required by local ordinances. Any required labels must be inconspicuous.
6. All electrical sign components must be U.L. labeled.



STOREFRONT MATERIALS

General Material Requirements

- The use of natural materials is encouraged. All materials used in storefronts must be durable, non-corrosive and exterior-rated.
- Careful attention to the detailing or joinery of differing materials is necessary. A carefully defined edge must be established between different materials and surfaces on the storefront as well as between the Tenant and Landlord or other Tenant finishes.
- All finished store materials shall be durable such as glass, tile, metal, stone, terrazzo, plaster, hardwood or similar materials approved by the Landlord. Reflective wallpaper, vinyl wall coverings, plastic laminates, mirror, slatwall or tambour will not be permitted.
- Any wood material used for storefront construction must comply with all code requirements and be suitable for long-term exterior application.
- A mock-up of the materials, colors, textures, or application may be required at Landlord's discretion.

Metals

All storefront metal panels must meet LL requirements below (this note must appear on final drawing set):

- All seams between metal panels must be identified on the storefront elevation and must be properly addressed during design review process. Metal panels will not be allowed to directly come into contact with adjacent panel. Reveals, turn-in seams, welding or similar must be specified and detailed out on the plans for approval.
- No visible fasteners
- Min 1/2" thick fire-rated plywood substrate is required and must be called out on the plans
- Minimum 18 gauge metal panels are required. This must be called out on their plans for approval.
- High quality is expected for all metal applications. Metal such as shop-painted aluminum and steel, stainless steel, solid brass, bronze, pewter or enamel coated steel may be used for hardware, trim and panels when well designed and detailed.
- Lap joints and seams must be even and straight and concealed when possible. Outside corners are to be mitered or continuous break shaped.
- Fabrication must be heavy gauge material (18 gauge minimum). In no case is oil canning (resulting from light reflection from an uneven or buckled surface), scratches, warps, dents, occlusions, visible seams or other imperfections allowed. Minimum 1/2" thick fire-rated plywood or other solid substrate is required behind all metal panels.
- Sealants on natural metals are required to prevent tarnishing and must be maintained by Tenant at Tenant's expense.
- Textured or brushed stainless steel, galvanized, sandblasted and etched metals are encouraged in creative applications.
- Unique treatments such as patina, rusted, etched and imprinted metals will be considered for special design objectives.
- Polished metals should be solid, not plated and limited to accent trim.
- Simulated finishes such as metallic laminates and anodized aluminum are not permitted.
- Metal edges cannot come into contact with each other, specify and show on plans with a joint detail.

STOREFRONT MATERIALS (cont'd.)

Stone

Granite, marble, limestone, slate, adoquin and other natural stone materials may be used in storefront applications. Stone may be polished, unpolished, sandblasted, flamed, honed, split-face or carved. Careful craftsman-like attention to detail is required at all connections and transitions to other materials.

- Edge details must prevent visible unfinished edges. Exposed edges must be quirk mitered, chamfered or polished to match adjacent surface finish.
- The transition between stone and adjoining materials must be defined by use of metal reveals.
- Stone used as a paving material must be flush when meeting other flooring materials.
- Natural stone must be protected against staining and discoloration by means of sealers appropriate to the material.

Wood

Wood will be subject to careful scrutiny and only allowed in limited amounts unless specifically made for use in exterior applications.

Painted or stained wood may be used in applications such as window frames, decorative trim or molding and for solid areas, such as decorative bulkheads. In some cases, it may be used for larger architectural elements, such as columns and entablatures. Wood paneling and plank construction are not acceptable unless presented in a highly imaginative concept and approved by the Landlord.

- All detailing and construction is to be executed in a high quality, craftsman-like manner.
- Wood used in the construction of the storefront must be kiln dried, mill quality hardwood and must meet local flame spread requirements (Class III 76-200).

- Painted wood must have a shop quality enamel finish.
- Wood without a paint finish must receive a clear, preservative sealant.
- Extensive use of natural wood finishes is discouraged. All stains and finishes must be approved by Landlord's Tenant Coordinator.

Tile

Tile may be used in diverse applications. Its use is encouraged to introduce light, decorative texture or graphic quality to a storefront.

- Porcelain, ceramic or glass tiles in glazed or natural finishes may be used as accents and in limited field applications. Patterns used over large areas are expected to have a sophisticated, well executed design concept.
- 4" X 4", 6" X 6", 12" X 12" sized tile are prohibited.
- Small and intricate mosaic tile patterns may be utilized for detail and accent only.
- All tile must be carefully detailed at outside corners with bull nose edges or special corner trims. Lapped or butt joints are not permitted.
- Grout color should match the background color of the tile so as not to emphasize a grid pattern.

Pre-cast Stone and Concrete

Many pre-cast stone and concrete products are currently available that may be acceptable for storefront applications. The use of these materials is at the discretion of the Landlord.



STOREFRONT MATERIALS (cont'd.)

Plaster

Plaster, cement plaster (stucco) and Venetian plaster finishes may be considered for limited storefront applications, provided the finish texture is a light dash, sand or smooth finish. Plaster or stucco finishes should be used in combination with other high quality materials such as stone or metal and not be the primary storefront material.

Faux Finishes

Faux finishes may be used at the Landlord's discretion.

- Actual samples of the faux finish must be submitted to the Landlord. Photographs of previous examples are helpful but may not be substituted for an actual sample.
- Faux finishes must be executed by a commercial artisan specializing in that medium.

Painted Surfaces

Any paint applied to the materials in the storefront is to be specified and is under the approval of the Landlord's Design Consultant. All paint should be of high quality for an even and durable finish. The following criteria must also be observed:

- Painted wood surfaces must be properly prepared and sealed prior to the application of a high grade enamel.
- Painted metal shall have a factory applied finish of baked enamel or powder coat treatment.
- Painted gypsum wall board will be allowed only within the interior of the storefront, not on the exterior storefront.
- Required MDF finish process:
1 Coat primer, 2 coats finish (sprayed and sand between each step).
* Specify drywall behind the MDF
Min. thickness for MDF is 3/4" on storefronts.

Prohibited Materials

The following is a list of prohibited materials. In rare instances, special consideration may be given for the use of a prohibited material if its application is highly original, creative and essential to the theme or design concept of the storefront. Exceptions will be determined by the Landlord during design review:

- Plastic laminates; Plastic spandrel panels or applied plastic laminated materials
- Glossy or large expanses of acrylic or Plexiglas
- Pegboard
- Mirror
- Reflective glass
- Simulated materials such as brick, stone or wood veneer
- Clear anodized aluminum
- Vinyl, fabric or paper wall coverings
- Plywood or particle board
- Sheet or modular vinyl
- Luminous ceilings, including "egg crate"
- Vinyl awnings
- 4"x4", 6"x6", 12"x12" tiles
- Glazed tiles
- Other materials deemed unacceptable by the Landlord

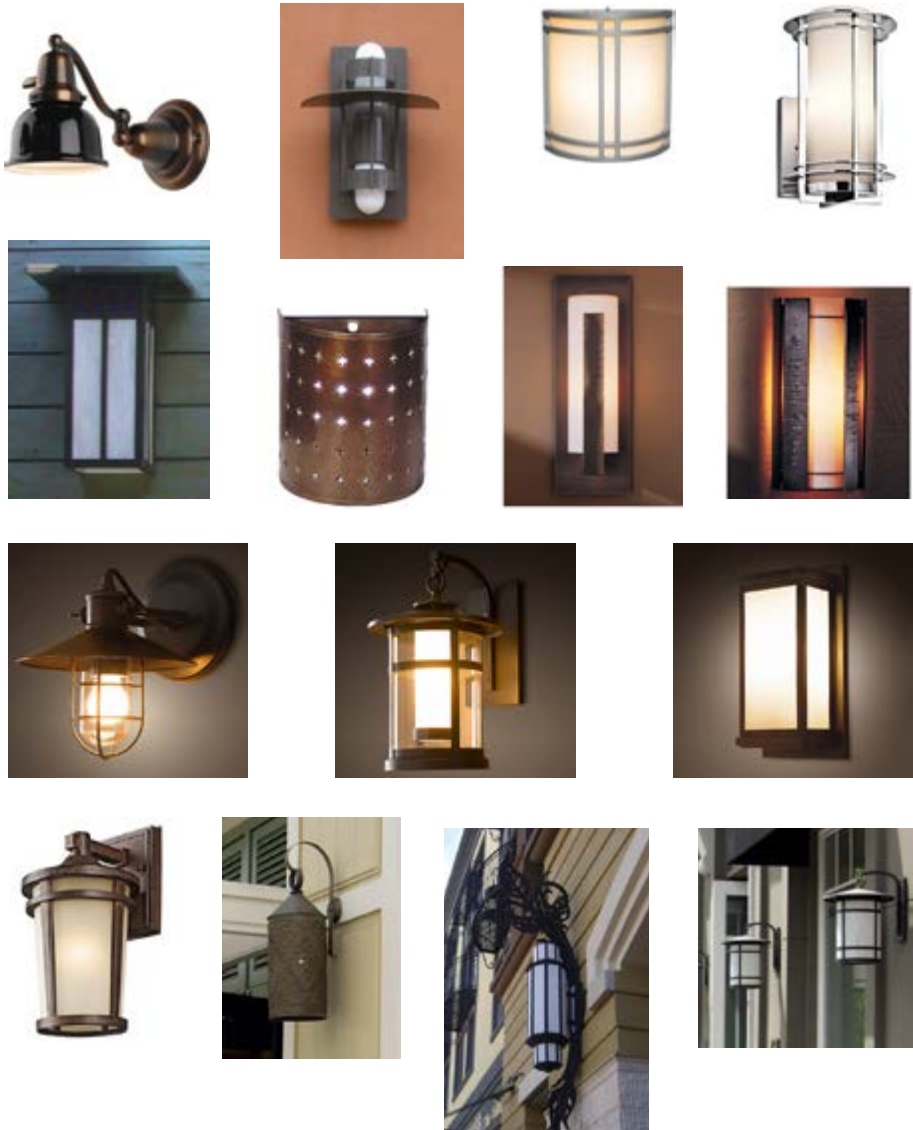
WALL SCOUNCES

Wall sconces shall be allowed subject to Landlord approval and coordination with adjacent tenants.

State of California Building Code Title 24 calculations are required for new exterior lighting. Tenants shall submit separate plans and lighting calculations to City of Walnut Creek.

Tenant wall sconces shall fit cohesively into the façade and Tenant's storefront design and shall be reviewed by Landlord in conjunction with storefront review. Sconces shall be commercial grade in quality and size. Residential scaled sconces are not acceptable.

Generally, bronze, stainless steel and powder coated finishes are recommended. Colors are subject to landlord approval.





INTERIORS

Tenants are encouraged to produce high quality, well detailed and executed interior solutions that are unique, imaginative and stylized.

The store interior is typically viewed as a continuation of the storefront in design and materials. Walls are to have modulation of display systems and built in architectural components that reinforce the store design theme. Tenants with above-normal sound levels must provide sound isolation in demising walls, floor, ceiling including pipes, conduits and wires must be designed so that in no event shall tenant noise emit sounds and/or vibrations which would cause the ambient noise level anywhere in the adjoining premises to be increased by more than 3 dBA during the adjoining space operating hours or (ii) which would cause the vibration level in the adjoining space to be more than 70 vdB during the adjacent premises store operating hours, or (iii) which can be unreasonably experienced in the Common Area.

The Landlord will strictly enforce all Tenant's right to quiet enjoyment of their Leased Premises.

Design Control Area (DCA)

The DCA is the area at the front of the Tenant space that extends from the point of closure to all points 8'-0" into the space. The DCA includes all display windows and retail graphics, display fixtures, signs, materials, finishes, color, and lighting fixtures within the area.

DCA can be considered an extension of the storefront presentation and should convey a store's merchandise identity and generate activity. It should convey excitement and give the consumer a reason to stop at the store. Proportion and scale of objects within the DCA is a specific concern in successful design. As with the actual storefront design, the objects within it must be in proportion to the space around them. Incorporating elements that raise from the floor or lower from the ceiling can control the scale of the DCA. Pedestals to display merchandise or light pendants hanging down can be examples of object forms that can control scale. These solutions can vary and are somewhat different from traditional and typical display zones.

Tenants shall use the following design criteria for displays within the DCA:

- Design drawings shall have a display layout plan. The layout plan shall have cut sheets for fixture and/or mannequin types and include photographs of any existing storefronts a Tenant may have that will enhance the layout plan. A rendering is required if photographs are not available.
- Displays shall be deliberate and designated as integrated elements of the storefront.
- Security devices must be concealed; freestanding pedestals are not permitted.
- Large temporary signs for special sales or clearances shall not be hung in the DCA including any signs taped or suction cupped to storefront glazing.
- No pegboard, slatwall or metal shelving of any kind may be placed in or extend into any part of the DCA.
- No TV monitors permitted within 10' behind glazing (city requirement).
- No display walls constructed behind glazing that obstructs visibility into the space.

Ceilings

Tenants can choose to have an open ceiling which may incorporate an open grid or be painted. Tenant installed ceilings shall conform to the following criteria:

- Hard surface ceiling required through the entire storefront DCA. This distance shall be a minimum width of eight feet (8'-0") in from the innermost point of closure line.
- Custom ceiling treatments are required. Multi-level gypsum wallboard, concealed spline, decorative patterned ceiling panels and other "high-tech" materials are encouraged. The use of ceilings on a single plane is not permitted. The use of beams, steps and 'islands' are required along with the imaginative use of lighting fixtures and fittings.



INTERIORS (cont'd)

- Fire sprinkler heads are to be fully recessed in hard or acoustical ceilings.
- Standard 24" x 48" acoustical panels are not allowed in the sales area.
- Ceiling concepts implementing exposed structure, electrical and mechanical systems must be coordinated with the Landlord for specific technical and design requirements.
- All suspended ceilings shall stop within 2'-0" of the partitions within the Tenant sales area. Suspended ceilings shall be terminated with a soffit, cove lighting detail, or other means of a finished edge along partition walls. Exposed edges shall be properly finished. Wall-to-wall suspended ceilings are not allowed.
- All ceilings, related framing, blocking and accessories shall be non-combustible. No combustible materials may be used above finished ceiling surfaces.

Lighting

Lighting can greatly contribute to the design of a Tenant's store, emphasizing architectural forms, highlighting signage, and adding color and visual drama to walls and other design elements. The creative use of dramatic lighting is encouraged at entries, show windows and merchandise displays.

- The DCA of the Tenant space must employ lighting fixtures consistent with the character of the storefront design. All lighting fixtures within the DCA must be recessed downlights, MR16 low voltage or similar types. Fluorescent fixtures will not be permitted.
- Track lights shall be finished to match ceiling; other finishes to be approved by Landlord. Track heads are to be accommodated with shields or louvers. Track lights are not allowed in DCA.
- Fixtures must be positioned so that bright glare is not directed onto the public areas.

- All fluorescent, incandescent, LED and HID lighting fixtures in public Tenant areas, other than track and decorative fixtures, shall be recessed with no directly visible lamp sources.
- Bare lamp fluorescent or incandescent fixtures may be used only in concealed areas and/or stockrooms. Fluorescent fixtures shall have a maximum size of 2' x 2' and have silver parabolic louvers or metallic finished eggcrate diffusers. All lighting fixtures shall bear the U.L. label.
- Concealed light coves to highlight architectural elements within the storefront are highly encouraged.
- Wall sconces may be used to cast light onto storefront forms, provided that bare bulbs are not exposed and that the finish and form of these fixtures coordinate with the overall storefront design. Fixture cut sheets will be required to be submitted if this light form is used.
- Exterior mounted decorative light fixtures are encouraged where appropriate for the storefront design concept. Fixture cut sheets must be submitted for review.
- All lighting must be reviewed and approved by Landlord. Tenant is responsible for maintenance of all lighting within the entire Leased Premises.
- Tenant shall comply with all applicable energy conservation and building codes.
- No strobe, spinner or chase type lighting shall be used.
- All showcases and display cases must be adequately lit and ventilated. Direct visual exposure of incandescent bulbs and/or fluorescent tubes is prohibited.

INTERIORS (cont'd)

Walls/Partitions

- Demising walls may be provided between two Tenants and/or Tenant and exit/service corridors. Walls will typically consist of 6" metal studs (provided by Landlord), and 5/8", type X fire rated drywall, taped from floor to bottom of roof deck, or deck above (or as required by governing code) on each side (provided by Tenants). At Landlord's option, demising partitions shall be of unfinished masonry, concrete or metal studs. Demising walls are not designed to accommodate cantilevered or eccentric loads. If Tenant plans to use a demising wall for support of shelf standards, light soffits or heavy attachments, Tenant shall reinforce the wall as required by providing additional steel studs or independent supports for the shelf standards.
- Walls between Tenant spaces and corridors have finishes by the Landlord on the corridor side only. Such walls which are made of gypsum board and studs will be constructed with one layer of 5/8" gypsum board on the Tenant side. Tenant shall finish as required for one-hour fire rated wall.
- A one-hour fire assembly shall protect penetration of one-hour walls.
- Demising walls and ceiling shall be sound insulated to achieve a minimum STC rating of 50 by Tenants who produce above normal noise, (including but not limited to music stores, arcades, etc.) at the Landlord's discretion. The Landlord will strictly enforce all Tenants' right to quiet enjoyment of their leased premises.
- Tenant shall protect fire proofed columns and braces with gypsum board, and furr as required.
- The following are required for hair salons, pet shops and all food preparation type Tenants:
 - a. Walls containing "wet" areas to be constructed of metal studs with water resistant 5/8" type "x" gypsum board.
 - b. Demising walls of pet shops shall have sheet metal installed on studs, behind drywall, up 3'-0" from floor.
- Tenant Premises adjacent to a two-hour wall condition will be required to apply two (2) layers of 5/8" type "X" gypsum board or other material to Tenant's side of studs.
- Stockroom Partitions. When Tenant chooses not to install a ceiling within Tenant's stockroom, Tenant shall extend the partition separating the stockroom from other areas of the store, to the underside of the structure above in order to isolate the stockroom from the sales area attic space.
- Wall Finishes. All interior wall surfaces must be finished in an appropriate manner and be in compliance with all applicable codes. All Tenant space interior wall finishes are to meet a Class III flame spread rating. Finish wood and trim need not be fire-resistant, but shall meet Class III. Certificates of compliance are necessary for interior finishes. One-hour corridors are to meet Class II flame spread.
- Metal or plastic laminate inserts are required for slatwall. No visible substrate at slats. None in the first 8'-0" of store entry doors.
- Recessed wall standards are permitted. No open shelving with visible brackets or surface mounted systems are allowed.
- Plumbing is not permitted within demising walls.

Floor and Wall Base

Tenants shall install a floor covering in Tenant's sales area which conform to the following criteria:

- Tenant's own flooring finishes must extend to the lease line at storefront. Mall finishes shall not extend to inside the lease line.
- Hard surface floor and base required through the entire DCA, including any permitted pop out areas. Carpet, vinyl or rubber materials of any sort will not be permitted within the DCA.
- Exposed concrete floors shall be sealed.
- Wood installations shall be hardwood with wear resistant surface.

INTERIORS (cont'd)

- Ceramic, quarry and stone tile installations must be commercial grade with non-slip surface.
- Carpet must be commercial grade and must have proper fire ratings to meet local codes. Carpeting will not be permitted where color, quality or weave is not suitable for high traffic areas. Note: Carpet may not be used at the store entry within the DCA.
- Sheet or modular vinyl may be used in support or stock rooms not visible from the sales area.
- Tenant shall provide a transition strip between opposing floor finishes. This includes, but is not limited to carpet and wood or carpet and tile.
- Tenant shall provide wood base in sales area.
- Tenant shall install vinyl composition or ceramic tile in Tenant's restroom with a 4" base.
- Any floor materials other than those mentioned above will not be allowed. Samples of all finishes must be submitted for approval and included in Tenant's preliminary submissions.

Toilet Room Requirements

- Toilet facilities shall be designed in compliance with all applicable ADA & Building Department Codes.
- Provide a 3" floor drain and cleanout.
- Each restroom must have an exhaust system.
- Floor finishes in public toilet rooms shall be VCT or ceramic tile with a coved 6" base.
- Tenant is required to provide a waterproof membrane beneath the finish floor surface up to a height of 4" along all walls. Waterproof membrane to be flood tested by Tenant and inspected by Landlord representative.

- Toilet room walls and ceiling shall be constructed of metal studs with water-resistant 5/8" type "x" gypsum board applied to the interior side of the toilet room. At a minimum, interior wall finishes shall be a light colored enamel paint with a 4' high wainscot extending 24" on each side of, and 24" beyond the front portion of any water closet or urinal.
- The ceiling shall be a minimum of 8'-0" above the finished floor level, be constructed of 5/8" type "x" water resistant gypsum and be finished with enamel paint. The ceiling shall contain a vent, which shall be connected to the Landlord's exhaust system, or as pursuant to the Center requirements.

Exiting

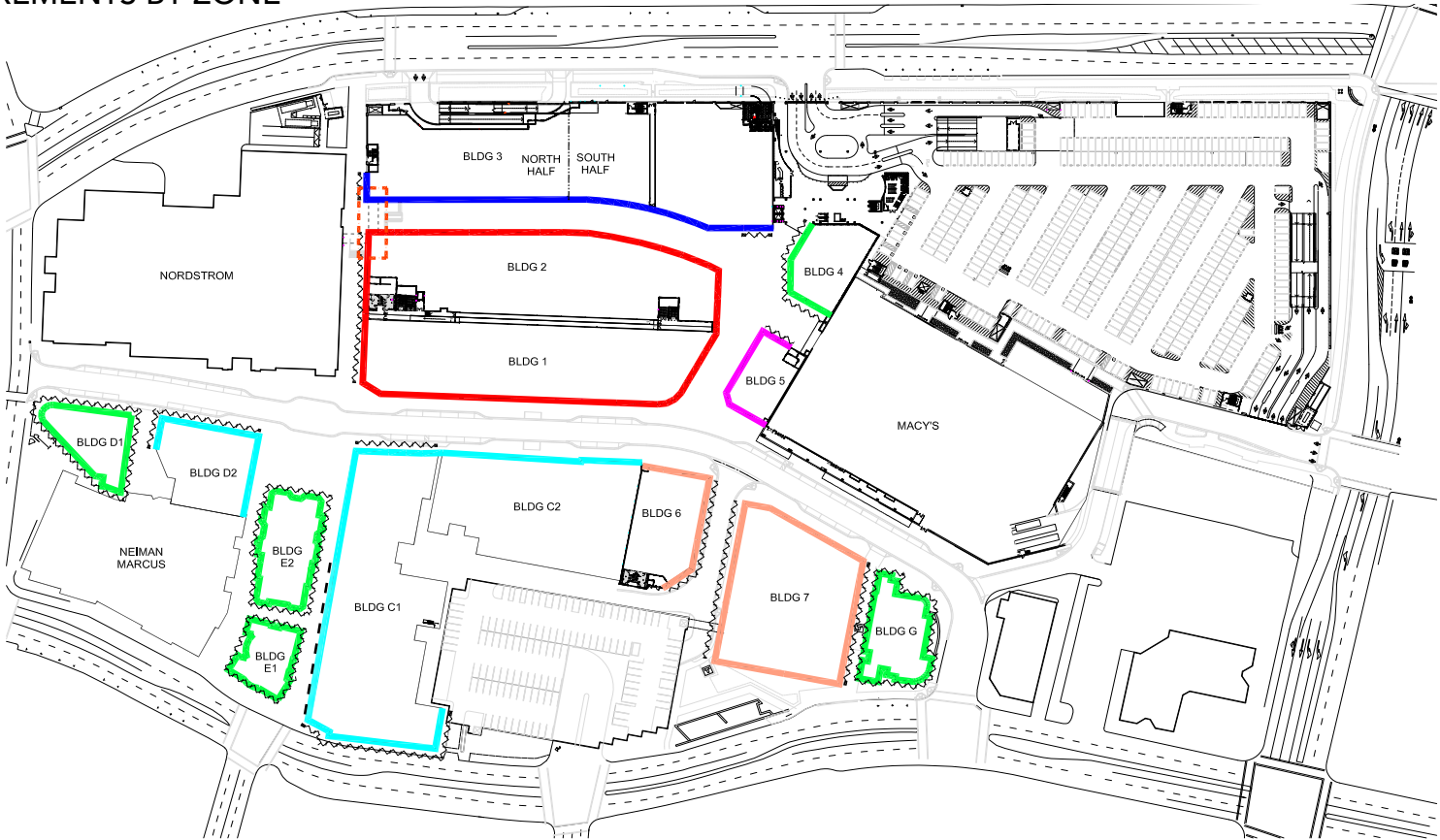
All retail Tenant spaces must provide two exits from the premises if required by code and/or Landlord's Tenant Coordinator. All exits must be engineered in compliance with all applicable ADA & Building Department Codes.

Tenant entrance doors shall be fully recessed and shall not project beyond storefront wall.

Tenant exit doors opening on to service corridors shall be recessed so that the door cannot swing into the corridor. All Landlord finishes in the corridor should not only be protected but also patched / repaired from the construction of the door recess. In addition, all adjacent corridor finishes should be extended into the newly created recess. Tenant is also required to install space identification that is in compliance with Landlord's specifications. See Landlord's on-site representative for exact information.'

Tenant contractors will be required to protect all Landlord finishes including floor finishes during all facets of tenant's construction. A wet rug must be placed at the front and back doors to prevent tracking dust into any common areas.

REQUIREMENTS BY ZONE



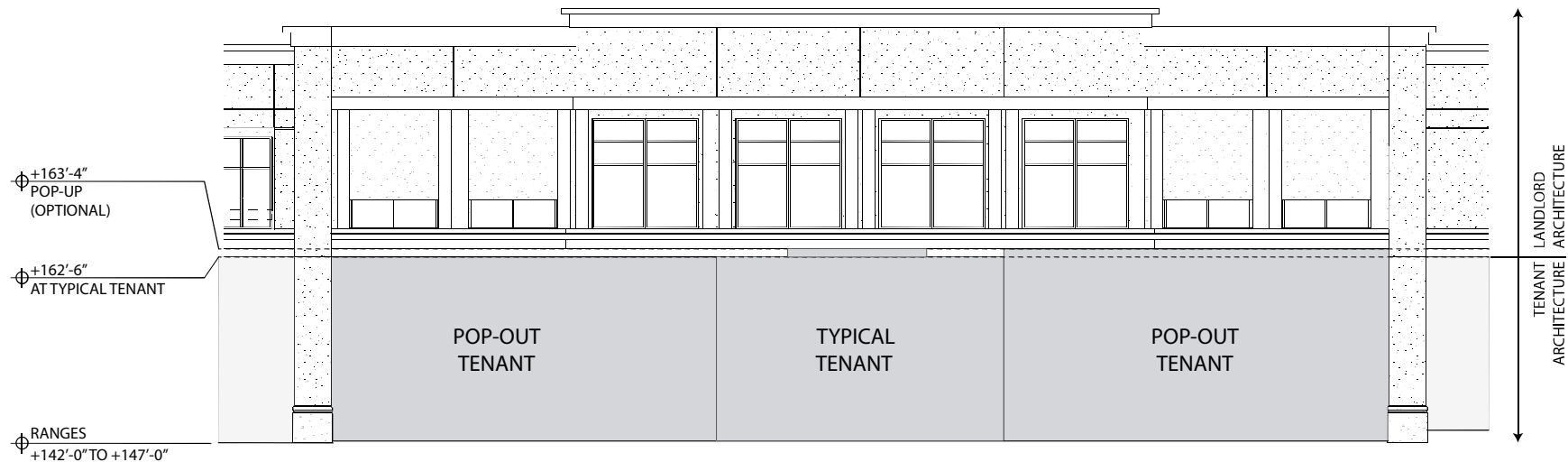
- ZONE 1: One-level tenants see pgs a20-a22
Two-level tenants see pgs a23-a24
- ZONE 2: North half tenants see pgs a27-a29
South half tenants see pgs a30-a32
Under balcony see pgs a33
- ZONE 3: Pgs a36-a38
- ZONE 4: Pgs a39
- ZONE 5: Pgs a40-a41
- ZONE 6: Pgs a42
- NO POPOUT ALLOWED
- SPECIAL CONDITION
See page a25-a26 & a34-a35 for details
- SPECIAL CONDITION
See page A36 for details



NORTH

ZONE 1 REQUIREMENTS

One Level Tenants (Two Level Tenants see pgs a23 - a24)



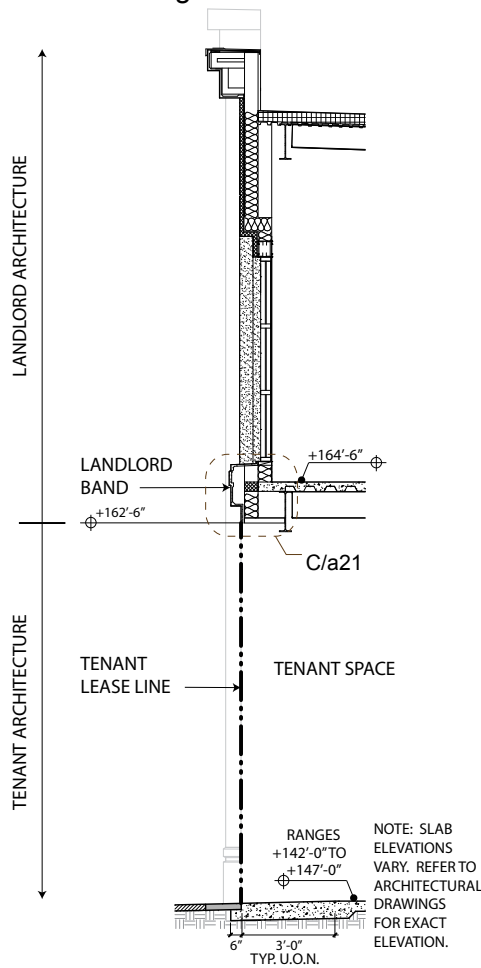
A - ELEVATION WITH ONE STORY TENANTS

1. Tenant may project storefront out up to 6" if indicated on the Landlord's LOD but in no case beyond the property line or other limits.
2. When pop-out is shown on LOD a minimum of 24" on both sides of the storefront must pop-out the maximum depth.
3. Where pop-out occurs, up to 70% of frontage may project to maximum pop-out depth.
4. Single level Tenant storefront heights will vary from 15'-6" to 20'-6" depending on slab height at specific location.
5. Storefront may also project up into the Landlord neutral band, up to a maximum of an additional 10" as shown on details C and D on page a21.
6. Extent of allowable projection to be determined by Landlord, and may be subject to review by the City of Walnut Creek Design Review.
7. There will be no neutral piers. Tenant storefronts will come directly into contact with one another, but cannot be on the same plane at point of connection. There must be a minimum of 3" separation from the face of one storefront to the next at the transition.
8. Each Tenant storefront must independently be watertight and should be designed as if it's the first storefront. Where neighboring Tenant storefront exists, it should be treated as a neutral pier and remain undisturbed.
9. Where they occur, the Landlord pilasters must remain undisturbed.

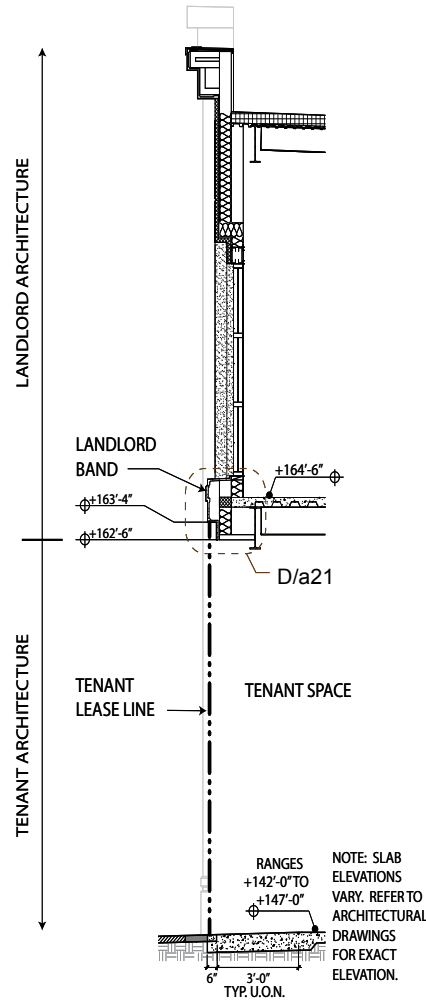
ZONE 1 REQUIREMENTS

One Level Tenants (Two Level Tenants see pgs a23 - a24)

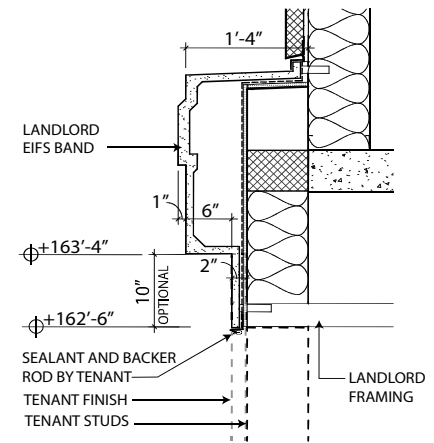
Technical Diagrams



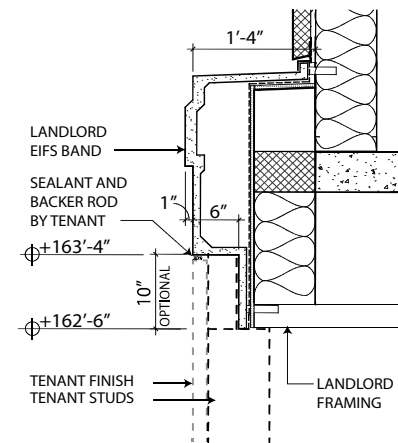
A - SECTION W/NO POP-OUT



B - SECTION W/POP-OUT



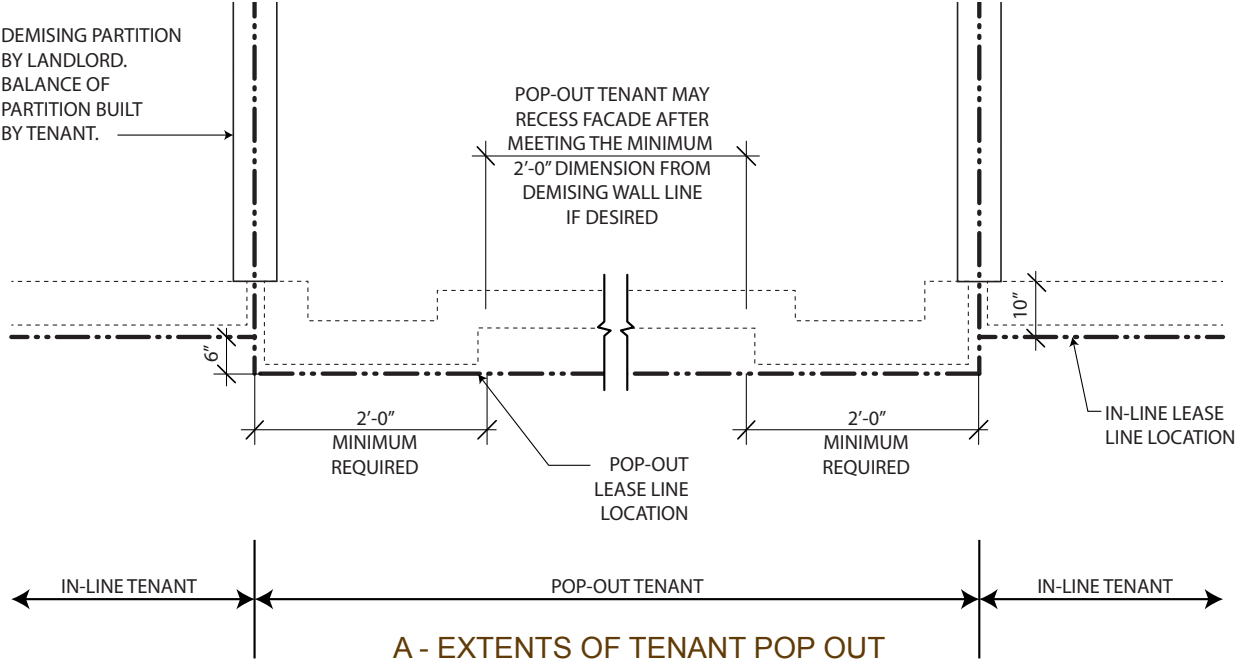
C - DETAIL W/NO POP-OUT



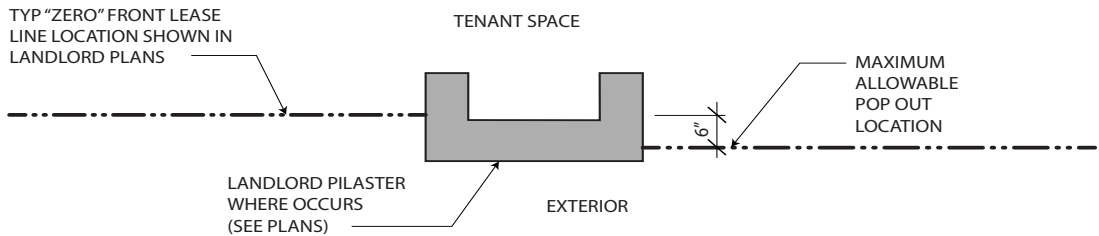
D - DETAIL W/POP-OUT

This section is representational only - see the building shell drawings for section detail specific to your location. Building 2 between grid lines 3-5 does vary from these details shown

ZONE 1, 2 North, 3, 5 REQUIREMENTS
One Level Tenants and Two Level Tenants
Technical Diagrams



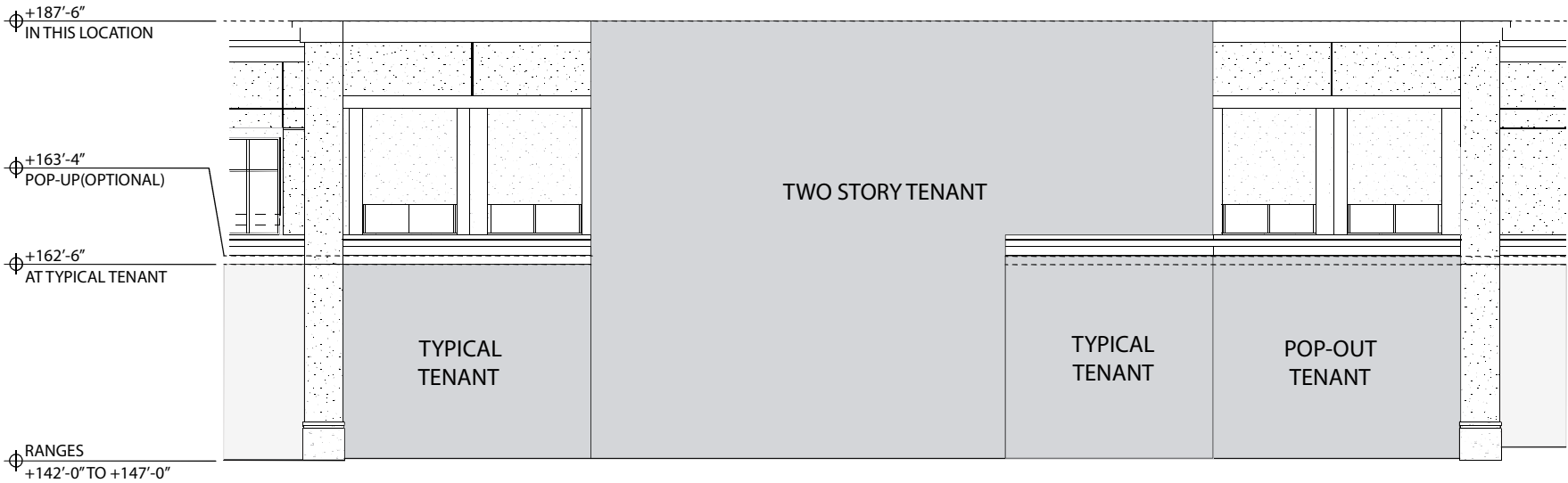
A - EXTENTS OF TENANT POP OUT



B - TENANT STOREFRONT AT LANDLORD PILASTER

ZONE 1 REQUIREMENTS

Two Level Tenants (One Level Tenants see pgs a20 - a22)

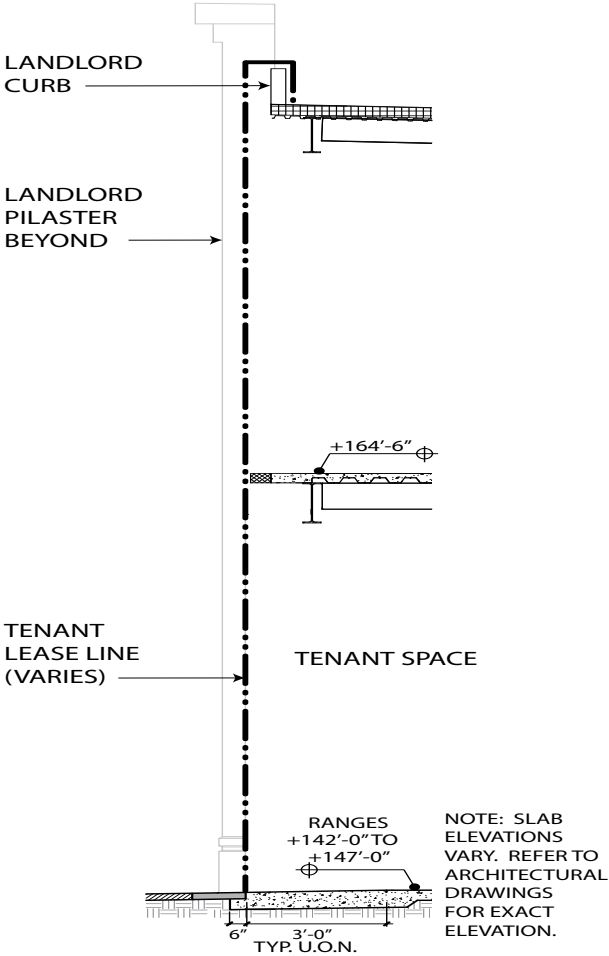


A - ELEVATION WITH TWO STORY TENANT

1. Tenant may project storefront out up to 6" if indicated on the Landlord's LOD but in no case beyond the property line or other limits.
2. When pop-out is shown on LOD a minimum of 24" on both sides of the storefront must pop-out the maximum depth.
3. Where pop-out occurs, up to 70% of frontage may project to maximum pop-out depth.
4. Two level Tenant storefront heights will vary from 40'-6" to 45'-6" depending on slab height at specific location.
5. Extent of allowable projection to be determined by Landlord, and may be subject to review by the City of Walnut Creek Design Review.
6. There will be no neutral piers. Tenant storefronts will come directly into contact with one another, but cannot be on the same plane at point of connection. There must be a minimum of 3" separation from the face of one storefront to the next at the transition.
7. Each Tenant storefront must independently be watertight and should be designed as if it's the first storefront. Where neighboring Tenant storefront exists, it should be treated as a neutral pier and remain undisturbed.
8. Where they occur, the Landlord pilasters must remain undisturbed.
9. Tenant storefront must extend full height up to and include the parapet.
10. Full storefront on both levels must be finished by Tenant including situations where the second level does not stack directly over the first level.

ZONE 1 REQUIREMENTS

Two Level Tenants (One Level Tenants see pgs a20 - a22)
 Technical Diagrams

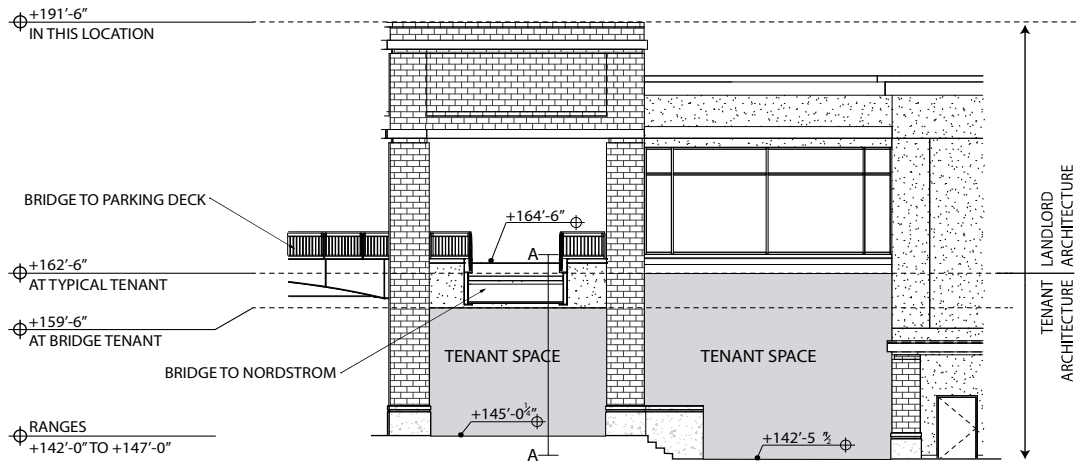


See page a22 for additional related details

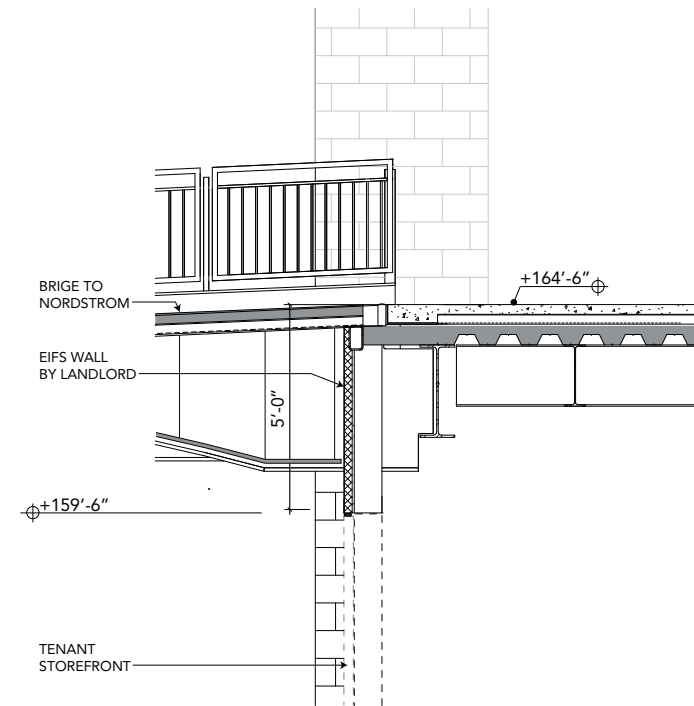
A - SECTION VIEW

This section is representational only - see the building shell drawings for section detail specific to your location. Building 2 between grid lines 3-5 does vary from these details shown

ZONE 1 REQUIREMENTS
Special Condition Diagrams
Under Pedestrian Bridge

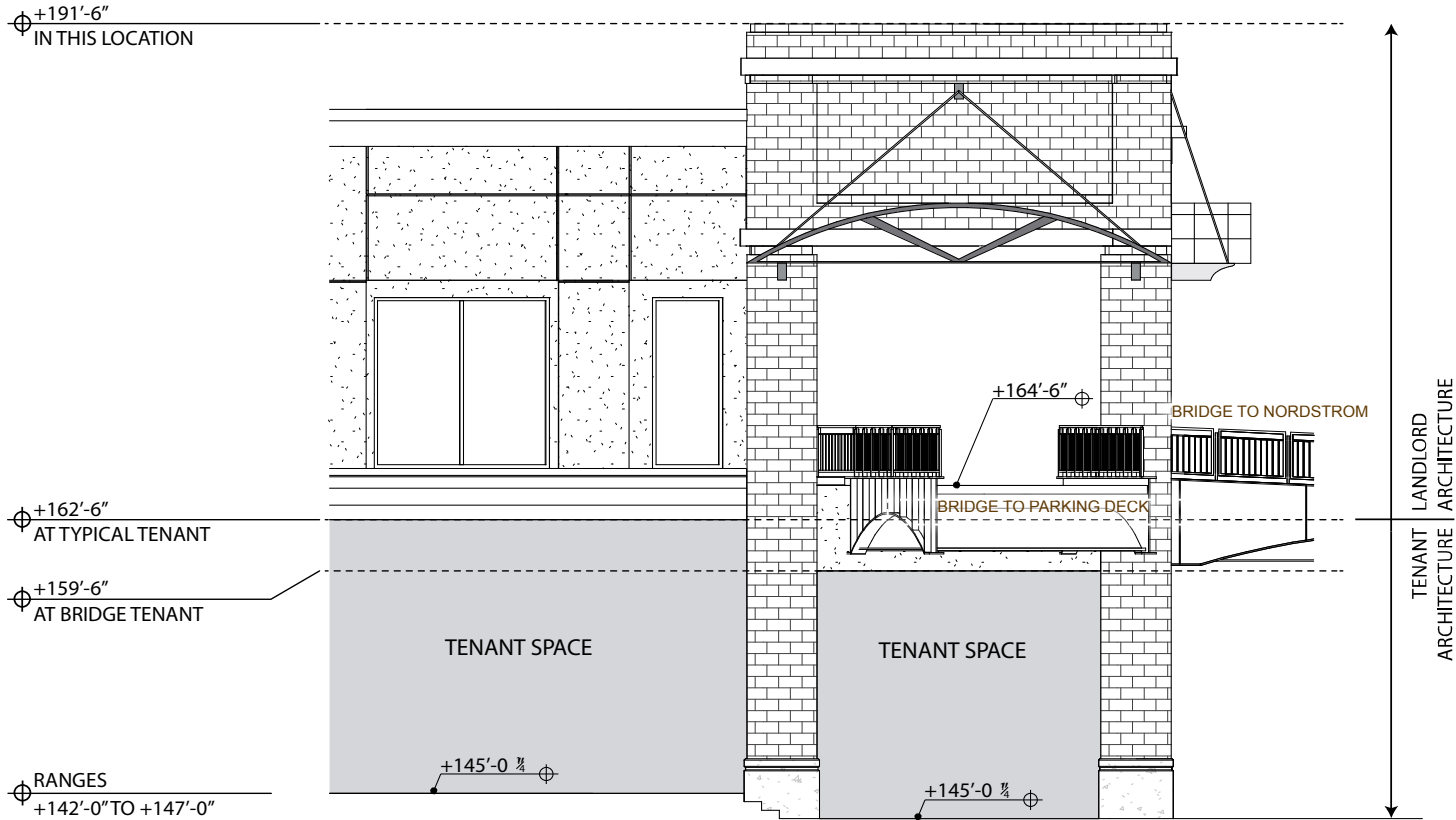


A - NORTH ELEVATION OF BUILDING 2 AT PEDESTRIAN BRIDGE



B - A-A SECTION AT PEDESTRIAN BRIDGE

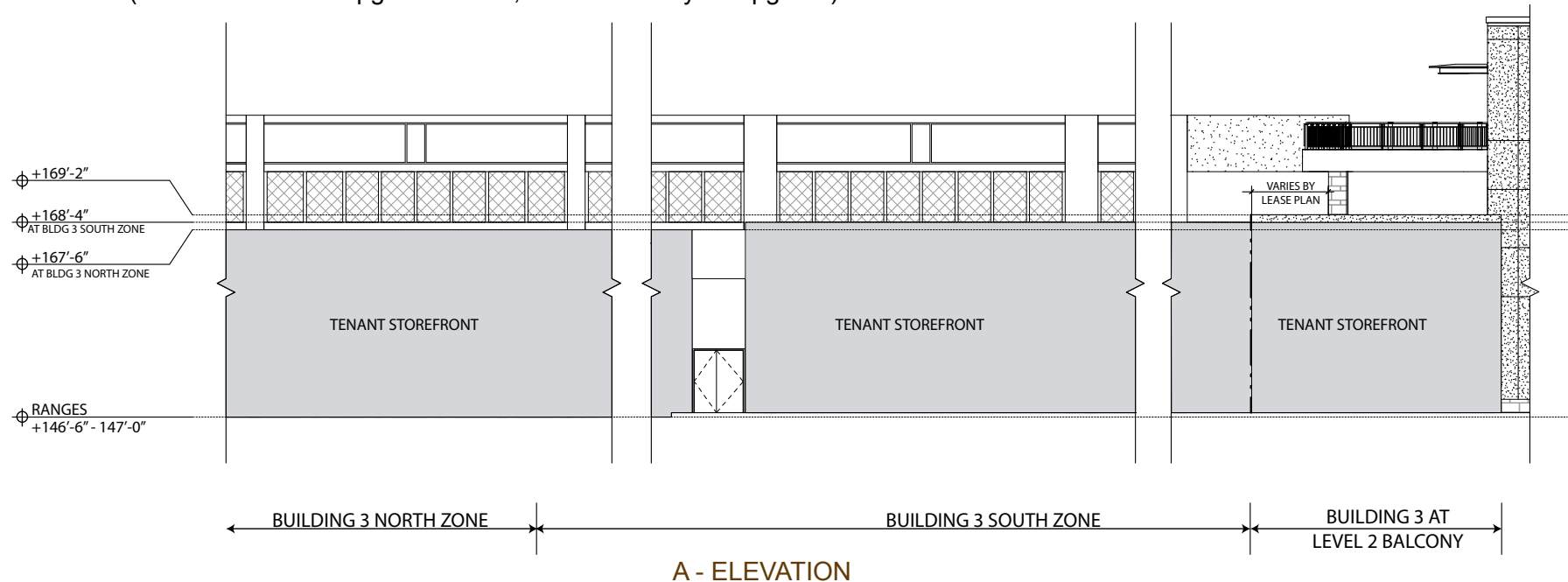
ZONE 1 REQUIREMENTS
 Special Condition Diagrams (cont'd.)
 Under Pedestrian Bridge



A - EAST ELEVATION OF BUILDING 2 AT PEDESTRIAN BRIDGE

ZONE 2 REQUIREMENTS

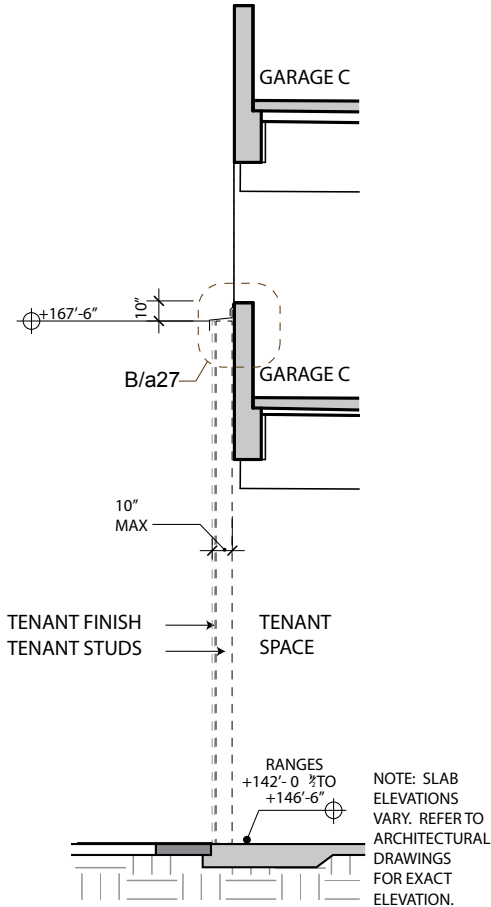
North Half (South Tenants see pgs a30 - a31, Under Balcony see pg a33)



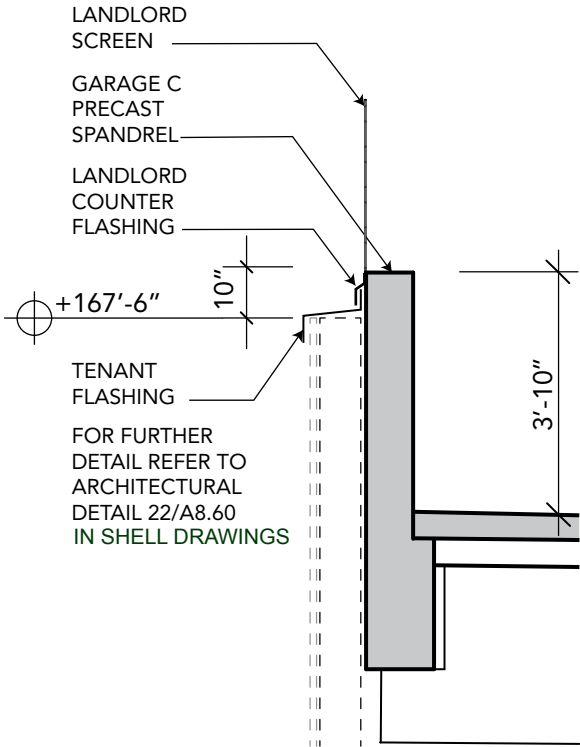
1. Tenant may project storefront out up to 6" if indicated on the Landlord's LOD but in no case beyond the property line or other limits.
2. When pop-out is shown on LOD a minimum of 24" on both sides of the storefront must pop-out the maximum depth.
3. Where pop-out occurs, up to 70% of frontage may project to maximum pop-out depth.
4. Tenant storefront heights will vary from 20'-6" to 21'-0" depending on slab height at specific location.
5. Extent of allowable projection to be determined by Landlord, and may be subject to review by the City of Walnut Creek Design Review.
6. There will be no neutral piers. Tenant storefronts will come directly into contact with one another, but cannot be on the same plane at point of connection. There must be a minimum of 3" separation from the face of one storefront to the next at the transition.
7. Each Tenant storefront must independently be watertight and should be designed as if it's the first storefront. Where neighboring Tenant storefront exists, it should be treated as a neutral pier and remain undisturbed.
8. Where they occur, the Landlord pilasters must remain undisturbed.
9. Where rear facade is exposed to the street, it must be finished as a Tenant storefront and have a display presence. See Tenant Coordinator for further details.

ZONE 2 REQUIREMENTS

North Half (South Tenants see pgs a30 - a31, Under Balcony see pg a33)
 Technical Diagrams



A - SECTION W/NO POP-OUT



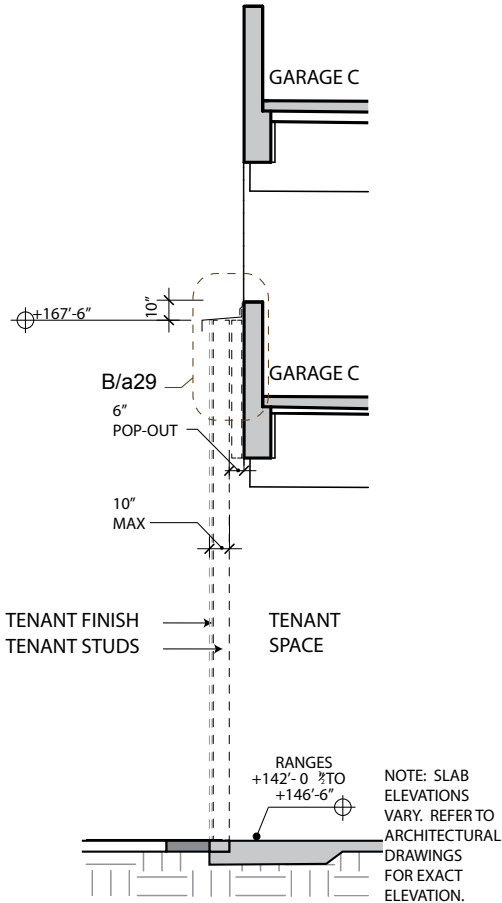
B - DETAIL AT TOP OF STOREFRONT

See page a22 for additional related details

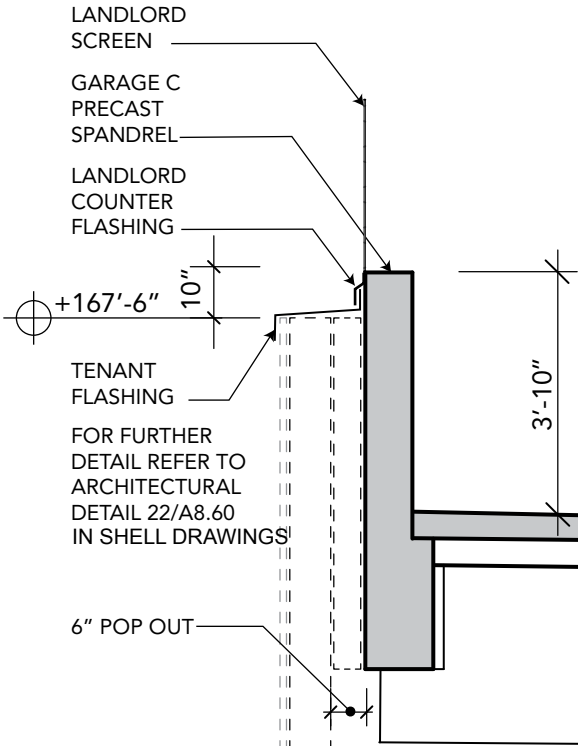
This section is representational only - see the building shell drawings for section detail specific to your location.

ZONE 2 REQUIREMENTS

North Half (South Tenants see pgs a30 - a31, Under Balcony see pg a33)
 Technical Diagrams (cont'd.)



A - SECTION W/POP-OUT

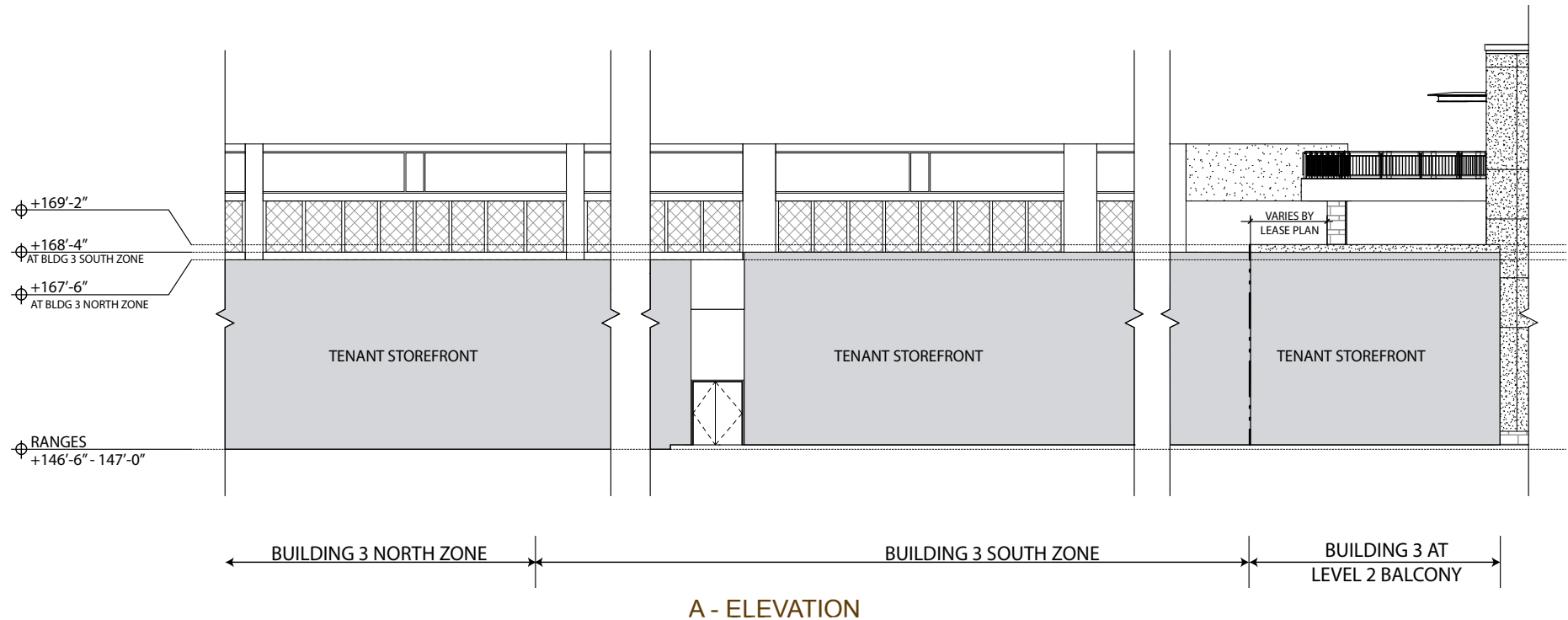


B - DETAIL AT TOP OF STOREFRONT
 See page a22 for additional related details

This section is representational only - see the building shell drawings for section detail specific to your location.

ZONE 2 REQUIREMENTS

South Half and Under Balcony (North Tenants see pgs a27 - a29, Under Balcony see pg a33)

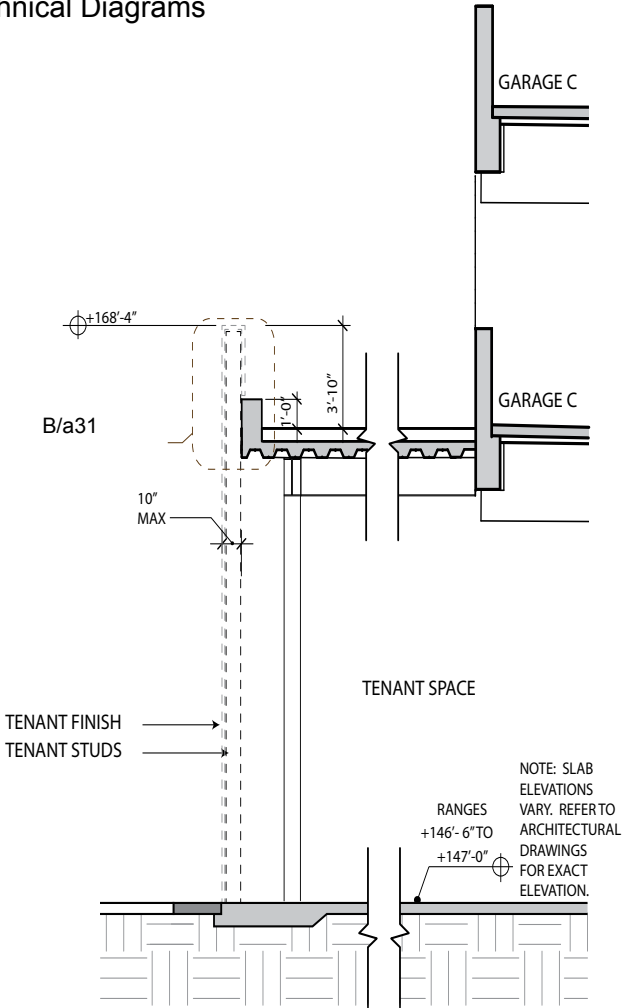


1. There are no pop-outs under the Balcony in Zone 2.
2. Tenant storefront heights will vary from 21'-4" to 21'-10" depending on slab height at specific location
3. There will be no neutral piers. Tenant storefronts will come directly into contact with one another. Storefronts cannot butt up to one another on the same plane - there must be a minimum of 3" separation from the face of one storefront to the next at the transition..
4. Each Tenant storefront must indepently be watertight and should be designed as if it's the first storefront. Where neighboring Tenant storefront exists, it should be treated as a neutral pier and remain undisturbed.
5. Where they occur, the Landlord pilasters must remain undisturbed.
6. Where rear facade is exposed to the street, it must be finished as a Tenant storefront and have a display presence. See Tenant Coordinator for further details.

ZONE 2 REQUIREMENTS

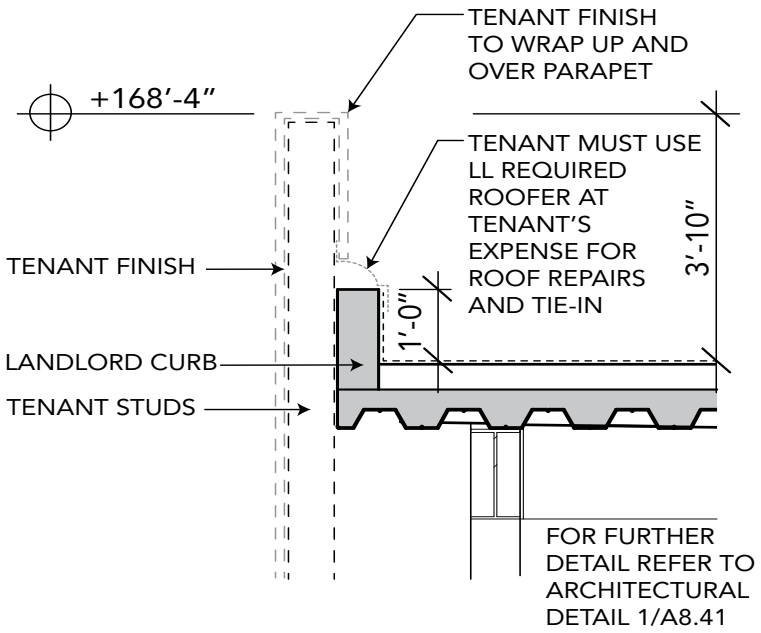
South Half (North Tenants see pgs a27 - a29, Under Balcony see pg a33)

Technical Diagrams



A - SECTION FOR SOUTH HALF W/NO POP-OUT

This section is representational only - see the building shell drawings for section detail specific to your location.

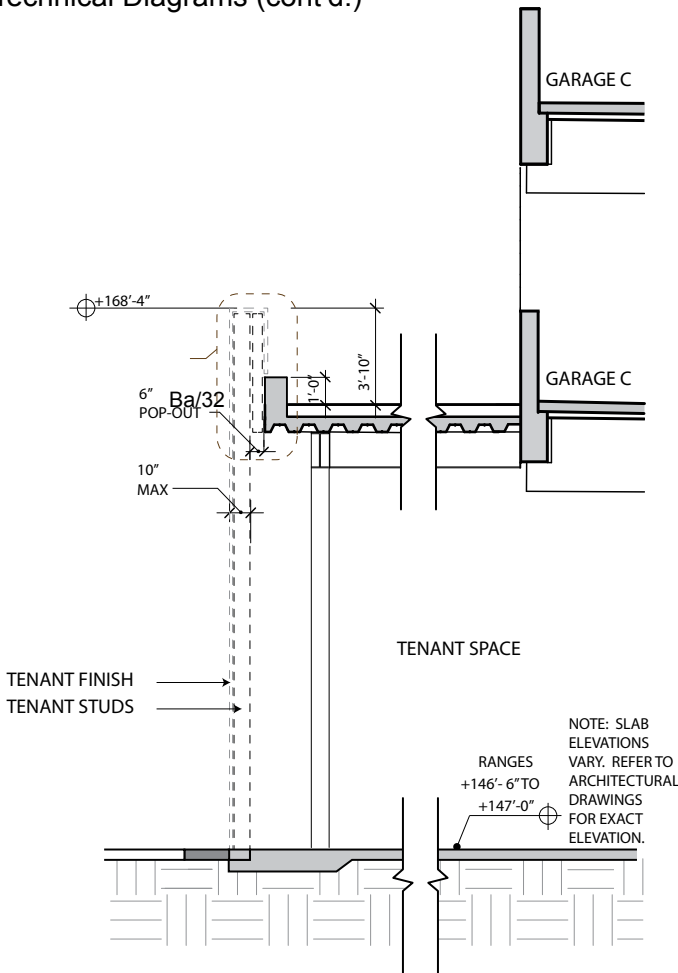


B - DETAIL AT TOP OF STOREFRONT W/NO POP-OUT

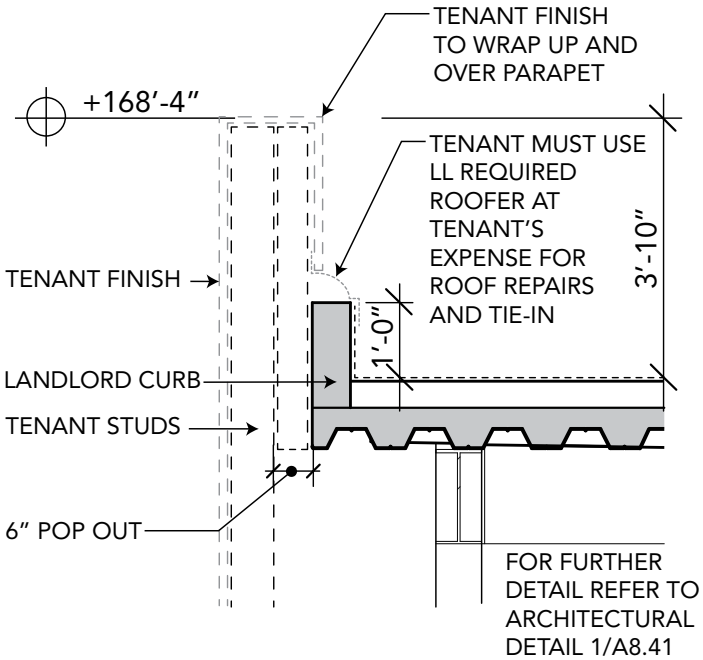
ZONE 2 REQUIREMENTS

South Half (North Tenants see pgs a27 - a29, Under Balcony see pg a33)

Technical Diagrams (cont'd.)



A - SECTION FOR SOUTH HALF W/POP-OUT



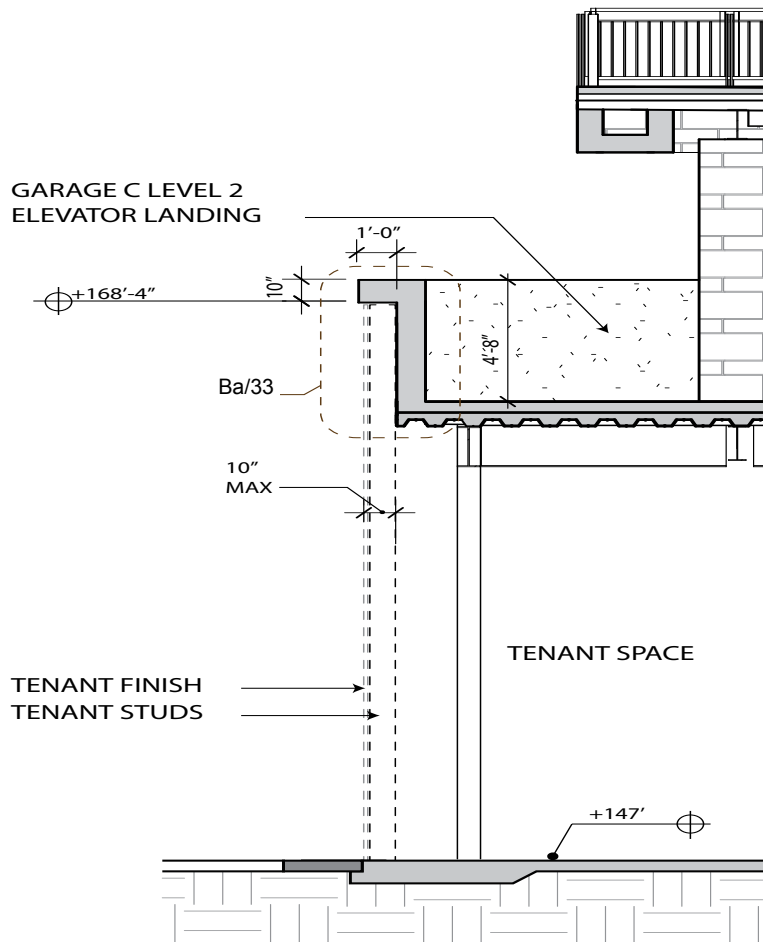
B - DETAIL AT TOP OF STOREFRONT W/POP-OUT

This section is representational only - see the building shell drawings for section detail specific to your location.

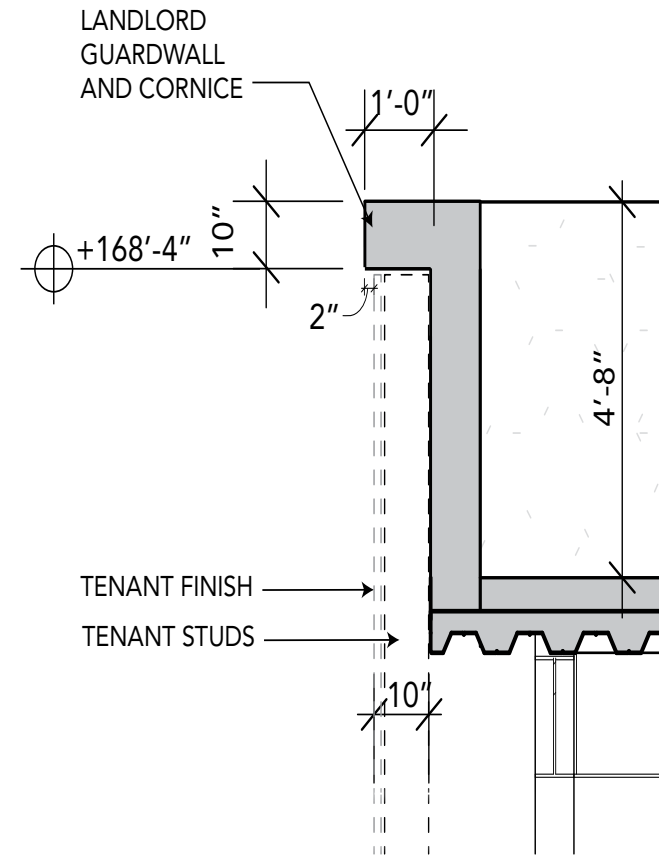
ZONE 2 REQUIREMENTS

Under Balcony (North Tenants see pgs a27 - a29, South Tenants see pgs a30 - a32)

Technical Diagrams (cont'd.)



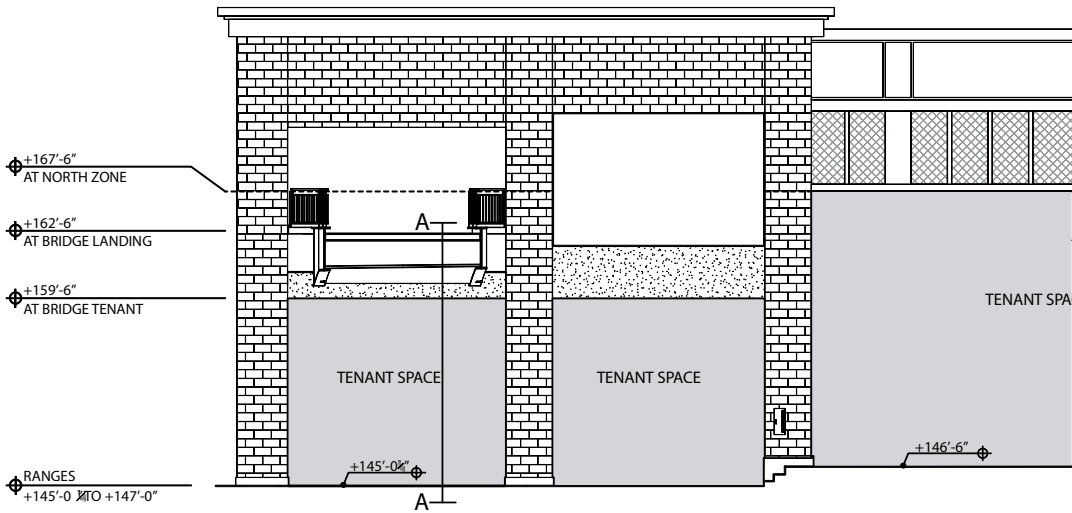
A - SECTION FOR UNDER BALCONY



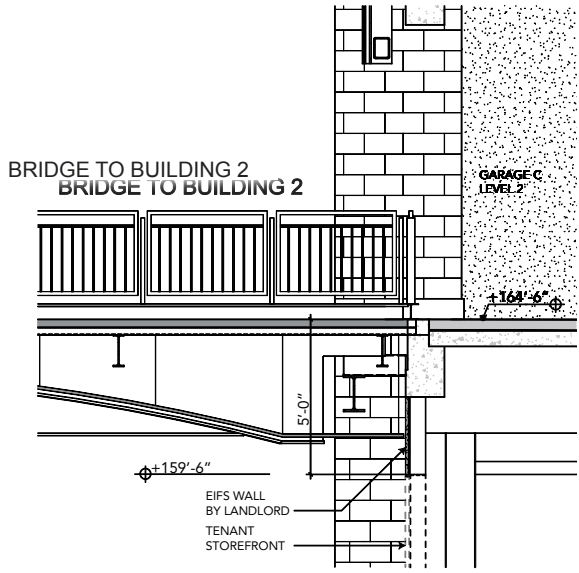
B - DETAIL AT TOP OF STOREFRONT

This section is representational only - see the building shell drawings for section detail specific to your location.

ZONE 2 REQUIREMENTS
 Special Condition Diagrams
 Under Pedestrian Bridge

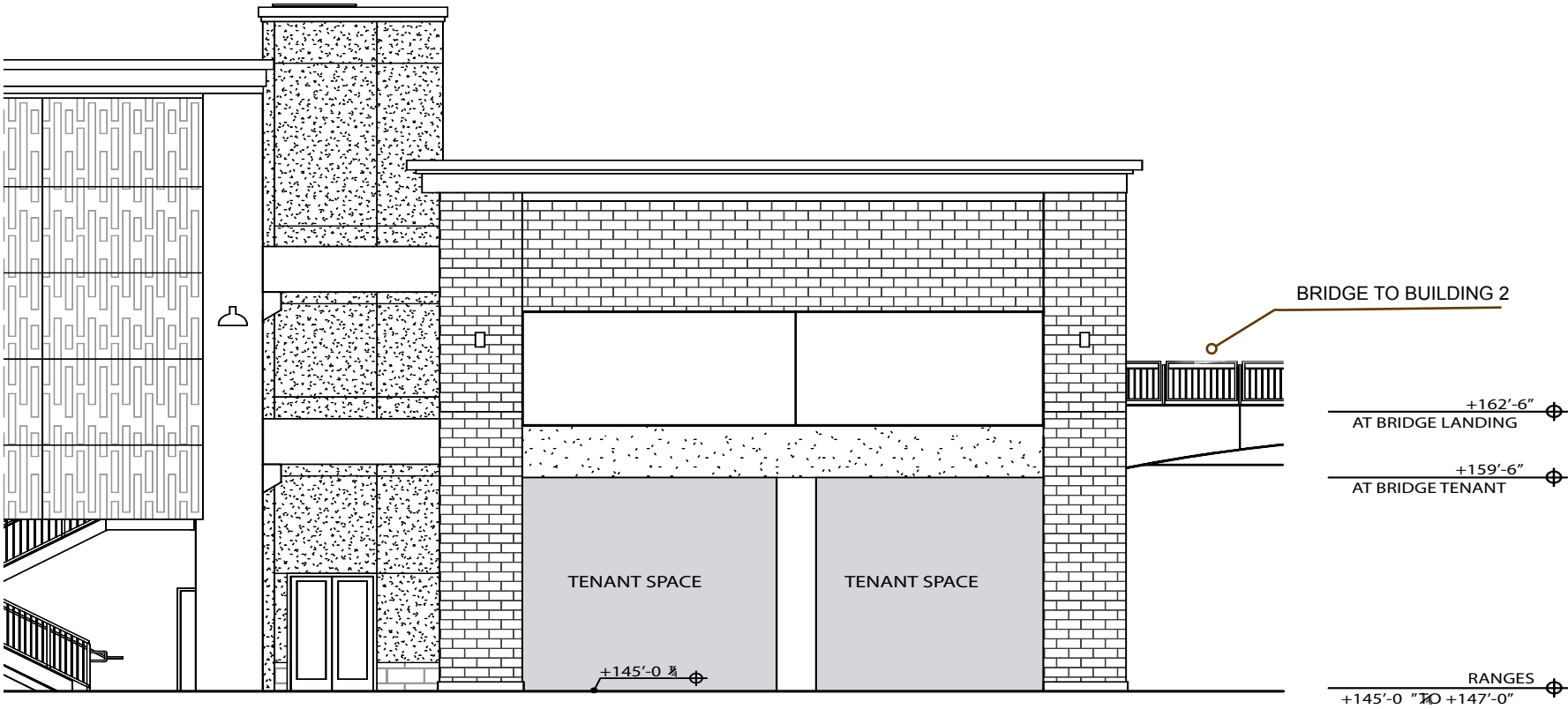


A - WEST ELEVATION OF BUILDING 3 AT PEDESTRIAN BRIDGE



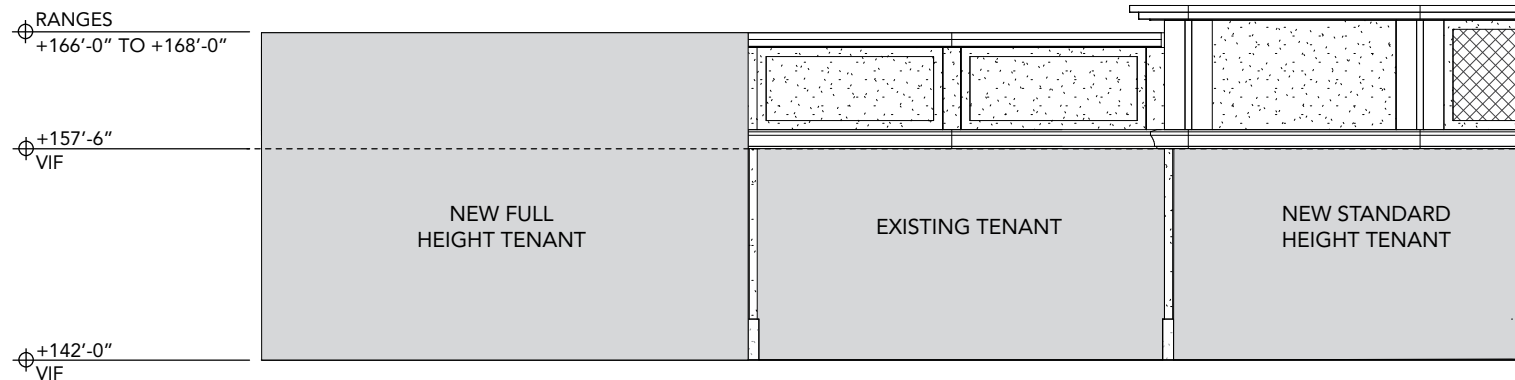
B - A-A SECTION AT PEDESTRIAN BRIDGE

ZONE 2 REQUIREMENTS
 Special Condition Diagrams (cont'd.)
 Under Pedestrian Bridge



A - NORTH ELEVATION OF BUILDING 3 AT PEDESTRIAN BRIDGE

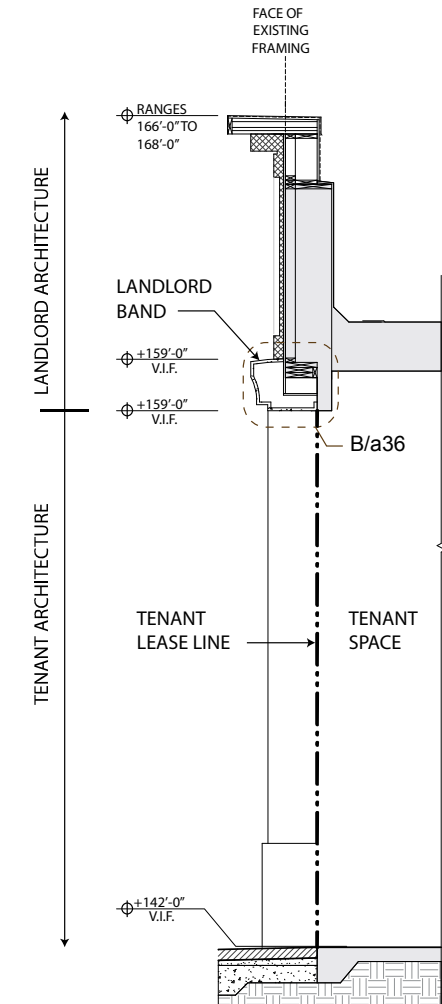
ZONE 3 REQUIREMENTS



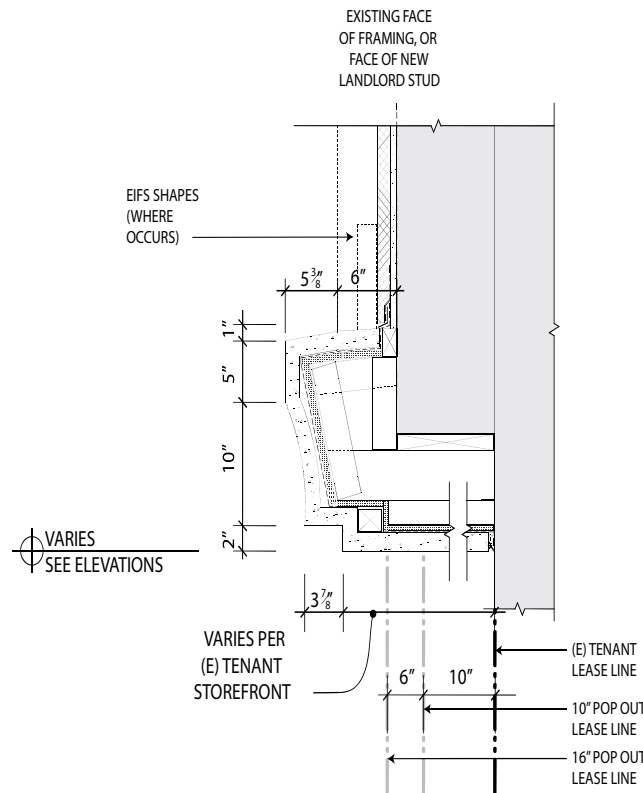
A - ELEVATION

1. Tenant may project storefront out up to 16" if indicated on Landlord's LOD but in no case beyond the property line or other limits as directed.
2. Tenant storefront must extend maximum distance as shown on LOD a minimum of 24" on both sides of the storefront.
3. Up to 70% of frontage may project to maximum depth indicated on the LOD.
4. Storefront must extend full height to the top of the parapet.
5. Existing neutral piers will be replaced by Tenant's storefront. Tenant should extend their storefront to lease line and incorporate any portion of neutral pier that occurs within their design.
6. Extent of allowable projection to be determined by Landlord, and may be subject to review by the City of Walnut Creek Design Review.
7. There will be no neutral piers, Tenant storefronts will come directly into contact with one another, but cannot be on the same plane at point of connection.
8. Where they occur, the Landlord pilasters must remain undisturbed. Where they occur, the Landlord pilasters must remain undisturbed.
9. Each Tenant storefront must independently be watertight and should be designed as if it's the first storefront. Where neighboring Tenant storefront exists, it should be treated as a neutral pier and remain undisturbed.
10. **SPECIAL CONDITION:** Tenant storefront along this dashed line shown on page 18 must have a 1 hour rated storefront construction from grade level to top of parapet.

ZONE 3 REQUIREMENTS Technical Diagrams (cont'd.)

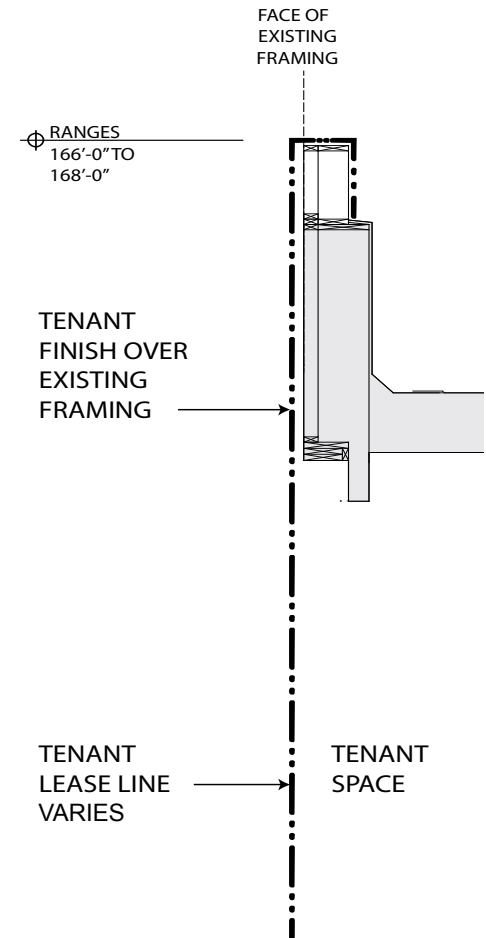


A - SECTION VIEW TYP HEIGHT



B - HEADER DETAIL

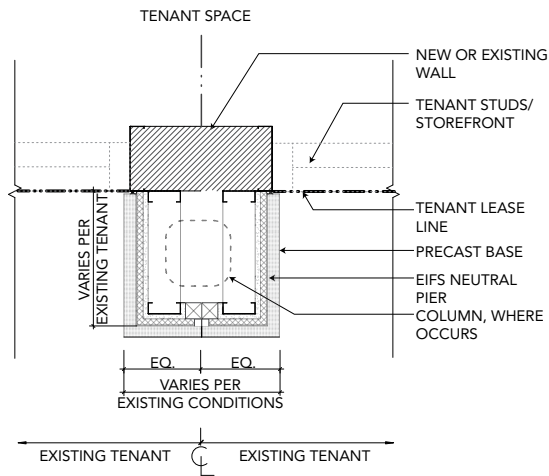
See page a22 for additional related details



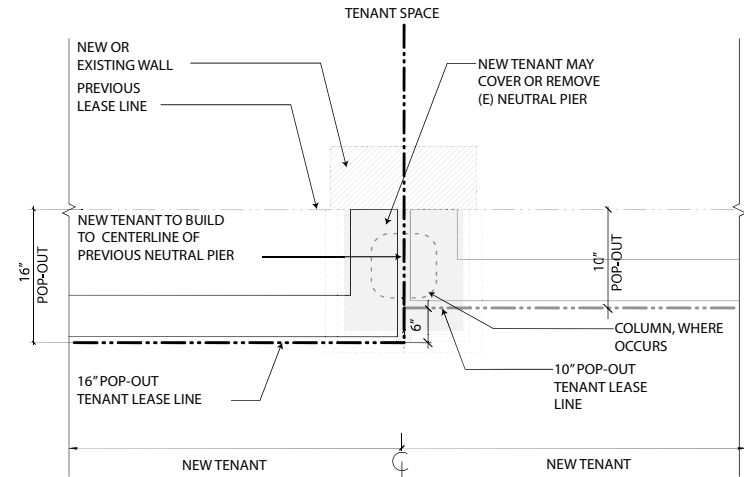
C - SECTION VIEW FULL HEIGHT

These sections are representational only - see the building shell drawings for section detail specific to your location.

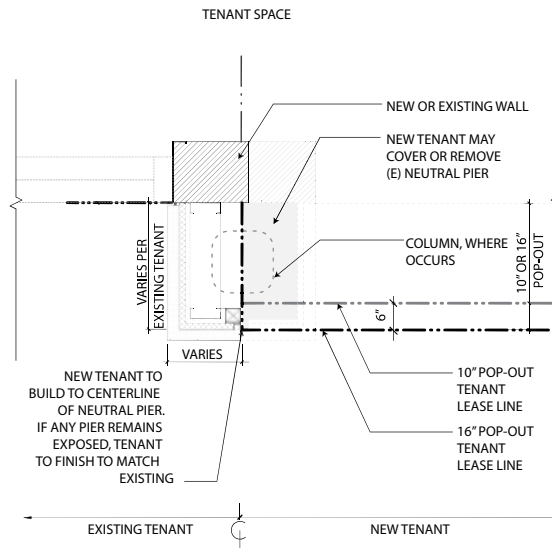
ZONE 3 REQUIREMENTS Technical Diagrams (cont'd.)



A - EXISTING NEUTRAL PIER CONDITION



C - NEUTRAL PIER W/TWO NEW TENANTS



B - NEUTRAL PIER W/ONE NEW TENANT

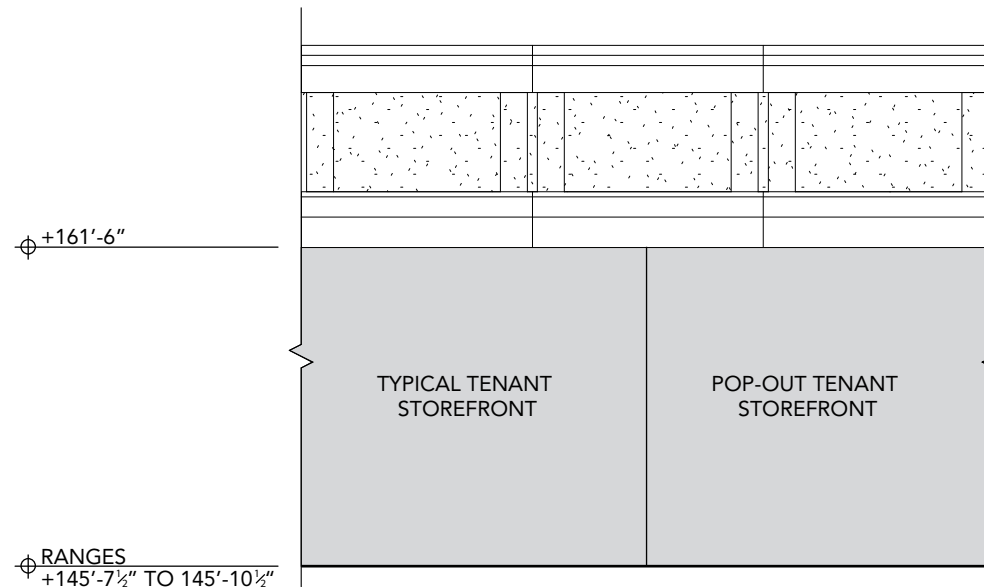


ZONE 4 REQUIREMENTS

The buildings within this zone do not have Landlord finishes or neutral piers. Tenant storefront designs should extend to full height of the building and to lease lines on both sides. Heights will vary depending on building and location within each building.

1. There will be no neutral piers, Tenant storefronts will come directly into contact with one another, but cannot be on the same plane at point of connection.
2. Each Tenant storefront must independently be watertight and should be designed as if it's the first storefront. Where neighboring Tenant storefront exists, it should be treated as a neutral pier and remain undisturbed.
3. Where they occur, the Landlord pilasters must remain undisturbed. Where they occur, the Landlord pilasters must remain undisturbed.
4. Storefronts cannot butt up to one another on the same plane--there must be a minimum of 3" separation from the face of one storefront to the next at the transition.
5. Tenant finishes must extend up to and include the parapet, including appropriate flashing and roof repairs.

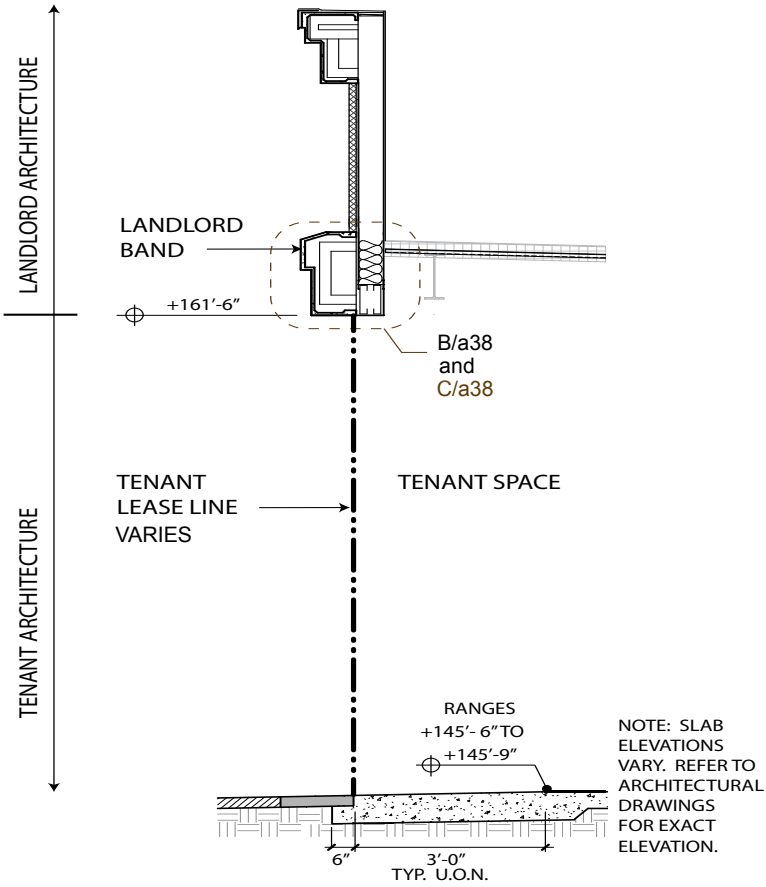
ZONE 5 REQUIREMENTS



A - ELEVATION

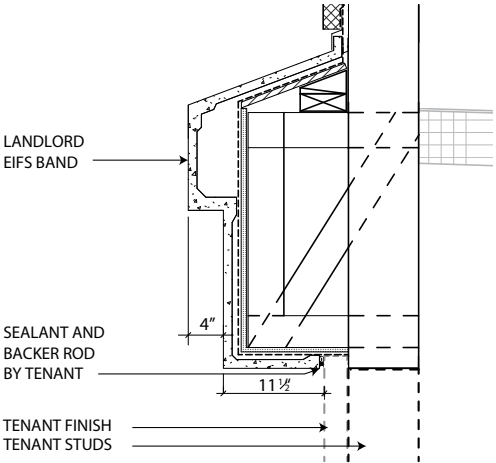
1. Tenant may project storefront out up to 6" if indicated on the Landlord's LOD but in no case beyond the property line or other limits.
2. When pop-out is shown on LOD a minimum of 24" on both sides of the storefront must pop-out the maximum depth.
3. Where pop-out occurs up to 70% of frontage may project to maximum pop-out depth.
4. Tenant storefront heights will vary from 15'-9" to 16'-0" depending on slab height at specific location.
5. There will be no neutral piers, Tenant storefronts will come directly into contact with one another, but cannot be on the same plane at point of connection. There must be a minimum of 3" separation from the face of one storefront to the next at the transition.
6. Each Tenant storefront must independently be watertight and should be designed as if it's the first storefront. Where neighboring Tenant storefront exists, it should be treated as a neutral pier and remain undisturbed.
7. Where they occur, the Landlord pilasters must remain undisturbed.
8. Tenant storefront must extend full height up to and include the parapet.
9. Full storefront on both levels must be finished by Tenant including situations where the second level does not stack directly over the first level.

ZONE 5 REQUIREMENTS Technical Diagrams

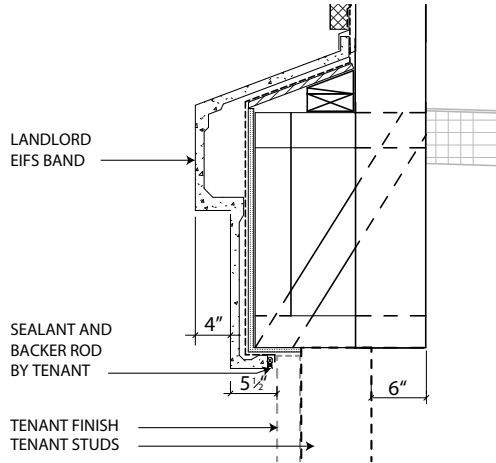


A - SECTION VIEW See page a22 for additional related details

This section is representational only - see the building shell drawings for section detail specific to your location.



B - HEADER DETAIL W/NO POP-OUT



C - HEADER DETAIL W/POP-OUT



ZONE 6 REQUIREMENTS

Zone 6 Requirements are pending.